



# The Village of Lions Bay

REQUEST FOR PROPOSALS

**RFP 1809**

For

**SALE OF LAND**

CLOSING DATE AND TIME:

**Thursday, October 4, 2017  
at 4 pm PDT**

SUBMIT PROPOSALS VIA EMAIL ONLY TO:

Peter DeJong  
Chief Administrative Officer  
Village of Lions Bay  
[cao@lionsbay.ca](mailto:cao@lionsbay.ca)

## **Introduction**

The Village of Lions Bay (the “Municipality”) is a small, picturesque, seaside Village nestled at the base of southern British Columbia's Coast Mountain Range in the northwest corner of the Metro Vancouver Regional District. Towering over the Village are the twin peaks from which the Village gets its name, the Lions, or the Two Sisters as they are called by the indigenous peoples of the south coast. Perched like a jewel on the shores of magnificent Howe Sound, the location is truly “Splendor in Serenity”, the motto on the Municipality’s Coat of Arms.

## **Background**

Recently, the Municipality closed a portion of right of way, at the intersection of Kelvin Grove Way and the Highway 99 northbound offramp, and is in the process of raising title to the land in the Land Title Office. Simultaneously, the Municipality is moving some of the existing infrastructure that is on the new lot into the highway right of way and providing for services to the lot (water, sewer, and storm). Schedule “A” to this RFP is a plan of survey for the parcel being registered (the “Lands”). Schedule “B” to this RFP is a Google image of the Lands (see: <https://goo.gl/maps/uHN5Kun7BAu>). Schedule “C” to this RFP is a copy of the engineering plans for moving existing infrastructure and improving the Lands for sale.

## **Lot Particulars**

The Lands will have a civic address of 35 Kelvin Grove Way and will be zoned RS-1, allowing for one single family dwelling (not eligible for additional cottage or further subdivision);

Entrance to the parcel will be at the narrow northeast end (cannot be from offramp), providing the option to make it the front of the lot with a 24.6 ft setback, with rear setback of 24.6 ft. and side setbacks of 7.9 ft to parcel line adjacent to highway off ramp on lower side and parcel line near uphill portion of Kelvin Grove Way on upper side;

Maximum Parcel Coverage = 3,014 sq ft (30%)

Maximum Floor Area Ratio = 3,516 sq ft (35%, plus 430.5 sq. ft. for garage);

Lot is steep from uphill side to lower side and may require bank stabilization and anchor bolts for foundation, all dependent on geotechnical report to be obtained by purchaser/builder.

## **Objective**

The intent of this RFP is to obtain proposals for the sale of the Lands. In any case, a licensed realtor will be engaged to act on the Municipality’s behalf for the sale of the Lands with the objective of obtaining the highest net value possible for the Municipality.

**Proposals**

Proposals should provide the following information or address the following topics in no particular order:

- Confirmation of licensed realtor status, including full name of brokerage
- Experience as a realtor in the Metro Vancouver real estate market, including any awards and/or any experience working with or on behalf of a local government
- Familiarity with the Lions Bay real estate market
- Ability to connect to potential buyers locally, regionally and internationally
- A thorough understanding of the value of this type of ocean view opportunity
- A marketing concept plan (details may be provided later) to ensure top level exposure above and beyond Multiple Listing Service placement
- A thorough description of the approach and methodology to be undertaken to support the marketing plan and attain the Municipality's objective
- An expression of the approximate list price or reserve price recommended and detailed justification to support such a price in the current market environment
- Terms of the proposed contractual relationship between realtor and Municipality, including commission structure for selling and purchasing agents (attach proposed contract if possible, or essential terms at minimum)
- Assuming notification of contractual award on October 16, 2018, provide an expected timeline for marketing and sale of the Lands

**Evaluation Process**

Proposals will be assessed in accordance with the criteria noted above as encompassed in the table below, assuming satisfaction of the following mandatory requirements.

**Mandatory Requirements**

The successful Proponent must meet the licencing requirements of the British Columbia Real Estate Act and Regulations.

One emailed copy of the Proposal must be received by the Chief Administrative Officer (CAO) by the closing date and time. The CAO may extend the closing date and time or allow a Proposal to be considered after the closing date and time in the CAO's discretion if less than 3 Proposals have been received by the closing date and time.

**Desirable Criteria**

Qualifications and Experience	40%
Approach and Methodology	40%
Proposed Contractual Terms and Timeline	20%
<b>TOTAL</b>	<b>100%</b>

Proposals will be evaluated based on meeting the above desirable criteria, as described more fully in the Proposals section above.

**Interpretation**

While the Municipality believes the information in this RFP is accurate, the information contained herein is supplied solely as a guideline for Proponents. The information is not guaranteed or warranted to be accurate by the Municipality at this time, nor is it necessarily comprehensive or exhaustive. It is the Proponent's responsibility to understand all aspects of the RFP requirements. Should any details necessary for a clear and comprehensive understanding be required, it is the Proponent's responsibility to obtain clarification before submitting a Proposal.

**Proposal Expenses**

Proponents are solely responsible for their own costs and expenses with respect to their participation in this RFP, including but not limited to, preparing and submitting their proposal, presentations, demonstrations, site visits, interviews, meetings, or contract negotiations whether at the Municipality or elsewhere.

**Conflict of Interest**

By submitting a Proposal, the Proponent represents that it is not aware of any circumstances that would give rise to a conflict of interest that is actual or potential, in respect of the RFP process, except any expressly disclosed in the Proponent's Proposal. The Proponent's Brokerage shall not act for the Purchaser.

**Confidentiality**

The Municipality recognizes the proprietary nature of information that may be contained in response to this RFP. Proponents must clearly mark and identify those areas of their Proposals which contain confidential information. The Municipality will not use or disclose such confidential information, except for the purposes of evaluating the proposals submitted under

this RFP, or as may be required by law, including but not limited to the BC Freedom of Information and Protection of Privacy Act (“FIPPA”). Proponents shall keep confidential all information received from the Municipality in connection with this RFP. Proponents shall not use the Municipality’s confidential information except as required to develop a Proposal in response to this RFP.

### **No Liability**

By submitting a proposal, the Proponent shall be responsible for and shall indemnify the Municipality, its employees, volunteers or agents associated with this RFP process, from all claims, loss and damages that relate to or arise out of errors, omissions or negligent acts relating to the RFP. This RFP does not give rise to any tendering law duties or any other legal obligations and the Proponent will have no right to make a claim against the Municipality with respect to the award of a Contract, the failure to award a Contract, or the failure to engage the Proponent in a response to this RFP. The Municipality reserves the right to reject any and all proposals, to waive technical or legal deficiencies, to make such investigation as it deems necessary to evaluate a Proponent's qualifications, to accept any Proposal that may be deemed in the best interest of the Municipality and to negotiate terms and conditions of any proposal leading to acceptance and final execution of the contract. The lowest or any proposal may not be accepted.

### **Questions**

Any questions related to this RFP may be addressed to:

Peter DeJong, Chief Administrative Officer

Village of Lions Bay

[cao@lionsbay.ca](mailto:cao@lionsbay.ca)

604-921-9333 (Office Hours)

604-905-9742 (After Hours)

**Proposals will be received via email only until Thursday, October 5, 2018 at 4 pm PDT.**



### Kelvin Grove Way

### Schedule B

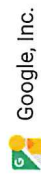
View of New Lot at 35 Kelvin Grove Way and Vistas of Howe Sound



Google

Image capture: Jul 2014 © 2018 Google

Lions Bay, British Columbia



Google, Inc.

Street View - Jul 2014



# CREUS Engineering

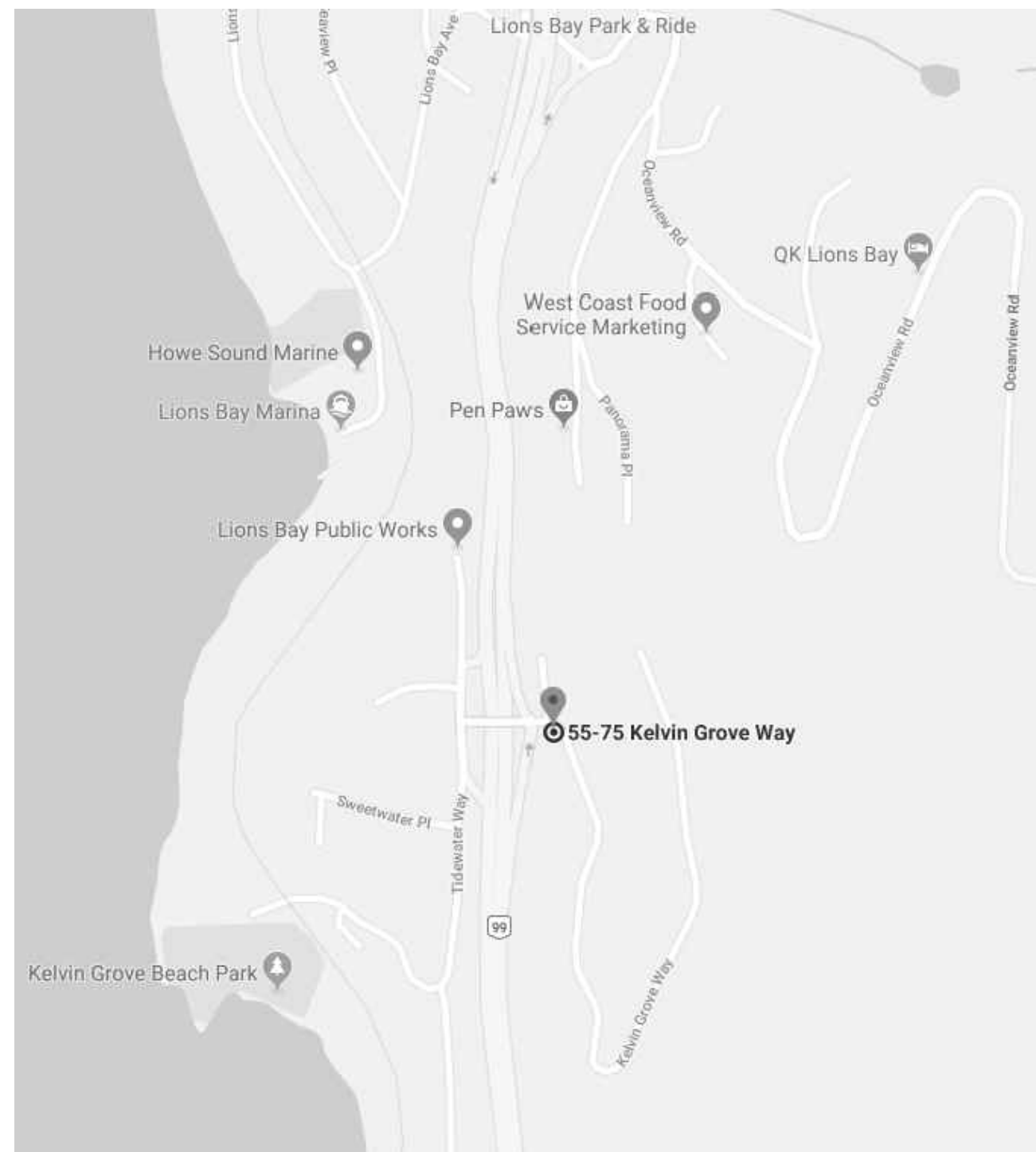
Civil Engineers & Project Managers  
#610 EAST TOWER - 221 ESPLANADE WEST, NORTH VANCOUVER BC, V7M3J3  
PH: 604-987-9070 WEBSITE: www.creus.ca

PROJECT:

## KELVIN GROVE LOT SERVICING LIONS BAY, BC

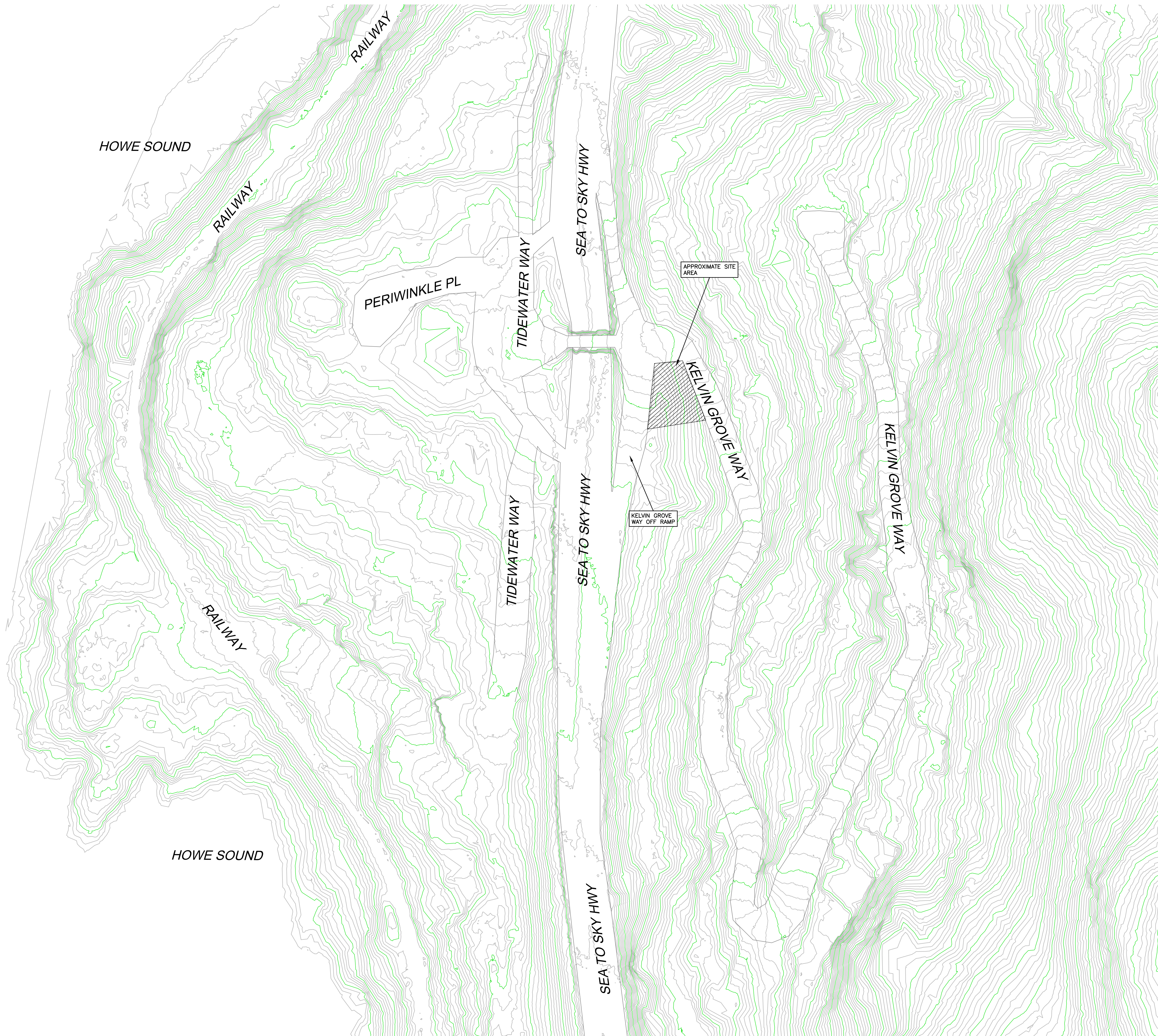
CLIENT:

## VILLAGE OF LIONS BAY

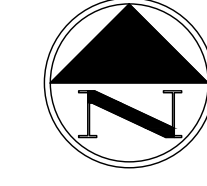


DRAWING LIST		
DWG NO		
CONTEXT-1	CONTEXT PLAN	
KEY-1	KEY PLAN	
R-1	ROADWORKS PLAN	DITCHING
XS-1	CROSS SECTIONS	DITCH
DET-1	DETAILS	

**2018-05-30**  
**ISSUED FOR MOTI REVIEW**

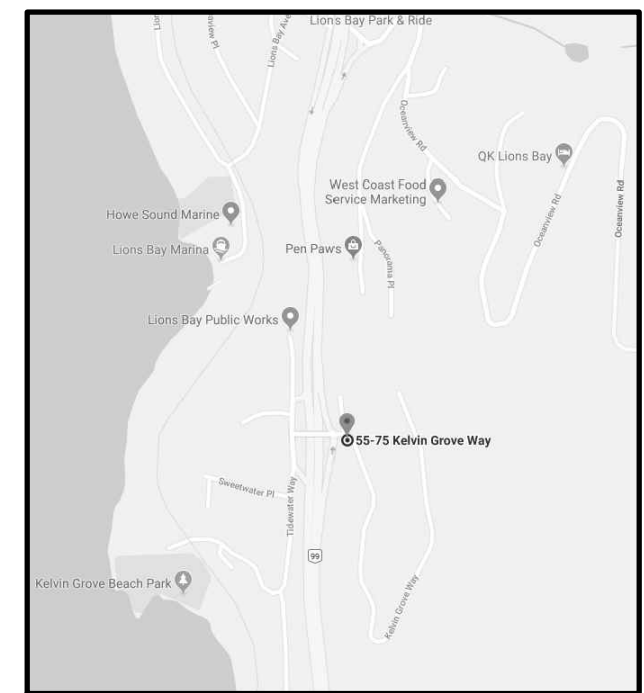


CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION



# CREUS Engineering

Civil Engineers & Project Managers  
 #510 EAST TOWER - 221 ESPLANADE WEST, NORTH VANCOUVER BC, V7M3J3  
 PH: 604-987-9070 WEBSITE: www.creus.ca



SITE MAP

### DRAWING LEGEND

	EXISTING	PROP.	TO BE REMOVED
LEGAL LINE	---	---	---
EASEMENT	---	---	---
WATERMAIN	---	---	---
SANITARY	---	---	---
STORM	---	---	---
HYDRO	---	---	---
TEL	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---

	EXISTING	PROP.	TO BE REMOVED
FIRE HYDRANT	⊗	⊗	⊗
GATE VALVE	⊙	⊙	⊙
AIR VALVE	⊙	⊙	⊙
REDUCER	⊙	⊙	⊙
INSPECTION CHAMBER	⊙	⊙	⊙
CATCHBASIN (STD/SI)	⊙	⊙	⊙
CAP	⊙	⊙	⊙
MANHOLE	⊙	⊙	⊙
POWER POLE	⊙	⊙	⊙
STREETLIGHT	⊙	⊙	⊙

approved

client  
**VILLAGE OF LIONS BAY**

project  
**KELVIN GROVE LOT SERVICING LIONS BAY, BC**

title  
**CONTEXT PLAN**

1	18-05-30	ISSUED FOR MOTI REVIEW	AJB
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no.	(y/m/d)	revision	ch/k/d
1	18-05-30	ISSUED FOR MOTI REVIEW	AJB

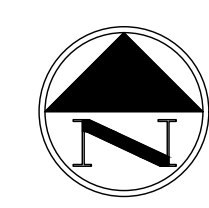
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engineer of record	KBH	scales	hor:1:1000	vert: -
designed by	KBH	file no.	18190	
drawn by	AJB	drawing no.	CONTEXT-1	
date	2018-04-19			

NOT FOR CONSTRUCTION



SEE DRAWING KEY-1 FOR GENERAL NOTES  
SEE DRAWING R-1 FOR ROADWORKS NOTES



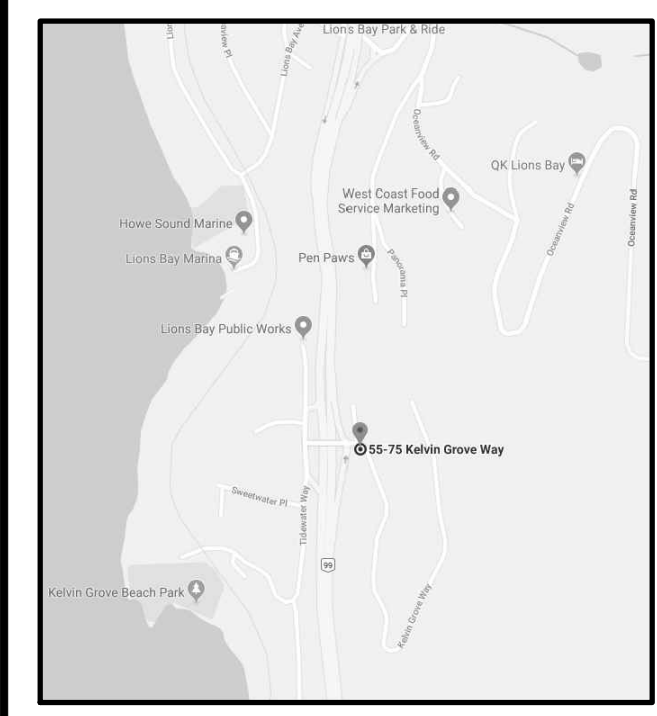
CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

**ROADWORKS NOTES**

- ALL ROADWORKS CONSTRUCTION AND METHODS MUST BE IN ACCORDANCE WITH MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD).
- PAVING CAN ONLY PROCEED IN THE PRESENCE OF THE ENGINEER OR DESIGNATED INSPECTORS.
- CONTRACTOR TO SUBMIT SEIVE TEST AND SOURCE DATA FOR AGGREGATES AND MIX DESIGN FOR ASPHALT AT BEGINNING OF CONTRACT FOR REVIEW AND APPROVAL.
- ALL LOOSE AND ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY, ALL SUBGRADES TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY. SUBGRADE TO BE INSPECTED BY ENGINEER PRIOR TO PLACEMENT OF GRAVEL SUBBASE. ANY WATER SOFTENED SUBGRADE SOIL SHALL BE OVEREXCAVATED AND THE GRADE RESTORED WITH GRANULAR SOILS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- THE BASE AND SUBBASE MATERIALS SHALL BE PROPERLY PLACED AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DRY DENSITY (ASTM D1557).
- THE CONTRACTOR WILL GIVE ENGINEER 48 HOURS NOTICE PRIOR TO SUBGRADE PROOF ROLL, BASE COMPACTION AND PAVING.
- THE CONTRACTOR MUST NOTIFY ENGINEER 48 HOURS PRIOR TO STARTING CONSTRUCTION TO ESTABLISH AN INSPECTION SCHEDULE.
- A PORTION OF THE CONTRACT DOCUMENTS IS INCLUDED BY REFERENCE. COPIES OF THESE DOCUMENTS HAVE BEEN REFERENCED IN THE TENDER PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT CURRENT RELEVANT COPIES OF ALL DRAWINGS AND CONTRACT DOCUMENTS ARE FORWARDED TO SURVEYORS, TESTING AGENCIES, SUBCONTRACTORS, SUPERINTENDENTS, ESTIMATORS, PROJECT MANAGERS, SITE STAFF AND ANY OTHER RELEVANT PARTIES. CONTRACTOR CONFIRMS THEY HAVE REVIEWED SAME PRIOR TO SUBMITTING TENDER.
- ALL CUTS IN EXISTING ASPHALT REQUIRED FOR CONSTRUCTION SHALL BE VERTICAL, FULL DEPTH, WITH A DIAMOND SAW AND REPLACED TO FULL / DESIGN DEPTH WITH MINIMUM 80mm ASPHALT CONCRETE FOR MAIN ROADS AND 65mm ASPHALT CONCRETE FOR LANES. AFTER BACKFILL AND COMPACTION, ALL PAVEMENTS, BOULEVARDS, DRIVEWAYS, FENCES, ETC. ARE TO BE RESTORED TO THE SATISFACTION AND APPROVAL OF THE CITY WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT.
- TOP LIFT OF ASPHALT TO BE MINIMUM 40 mm OR AS NOTED.
- ALL PAVEMENTS, BOULEVARDS, DRIVEWAYS, FENCES, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT. CONTRACTOR TO ROUGHGRADE THE BOULEVARDS AT THE SAME TIME AS ROAD GRADING.
- CHANGES IN GRADE TO BE FORMED WITH SMOOTH CURVES.
- COVERS FOR INSPECTION CHAMBERS AND VALVE RISERS IN DRIVEWAYS SHALL BE SUITABLE FOR TRAVELED AREAS.
- ALL MANHOLE LIDS, VALVE COVERS, CATCHBASIN RIMS AND LIDS OF OTHER STRUCTURES TO BE SET AT FIRST LIFT ROAD ELEVATIONS AND RAISED WHEN FINAL LIFT INSTALLED.
- ENSURE ALL NEW PAVEMENT WORKS ARE KEYED INTO EXISTING ASPHALT AS PER MMCD STANDARD.

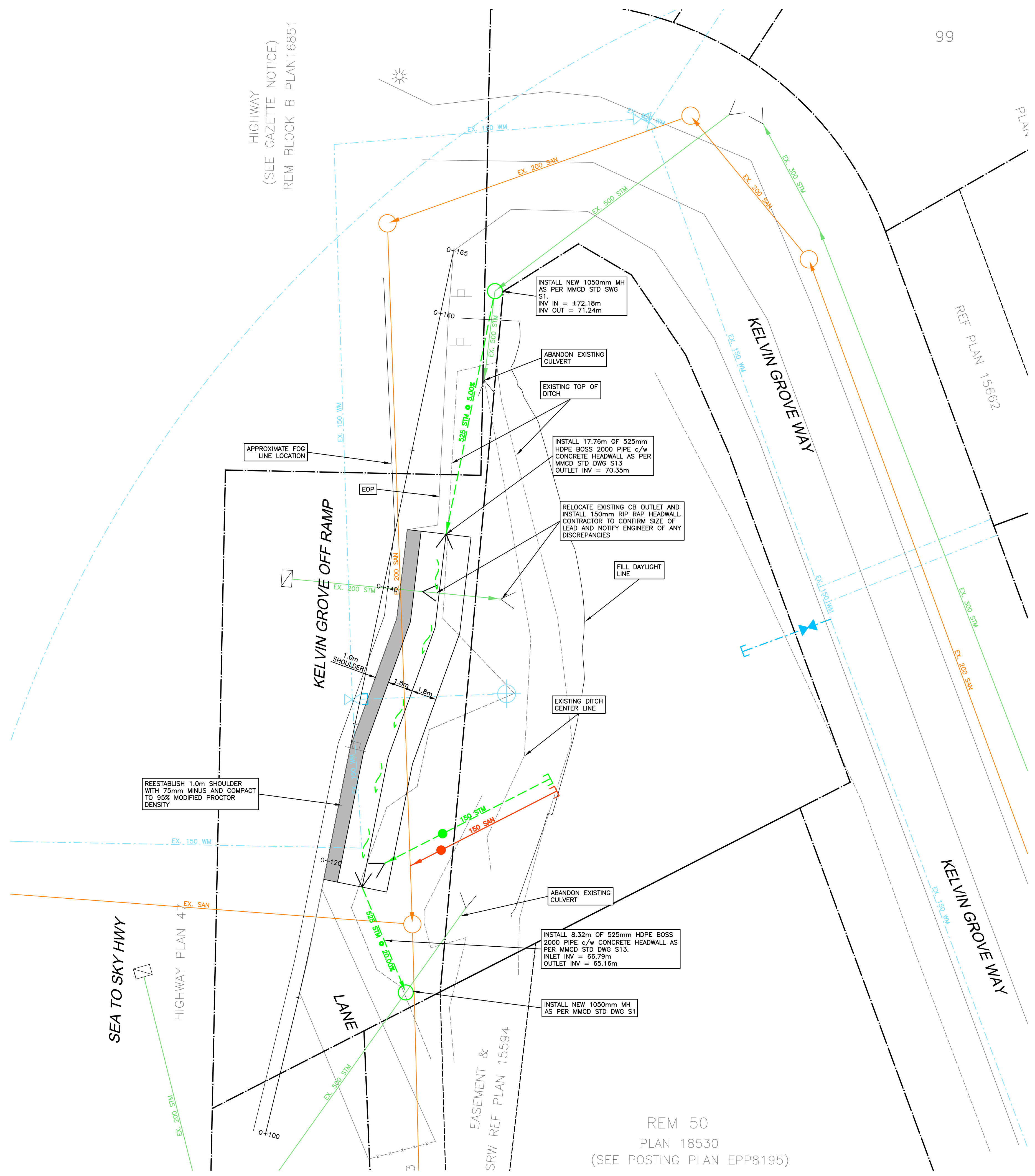
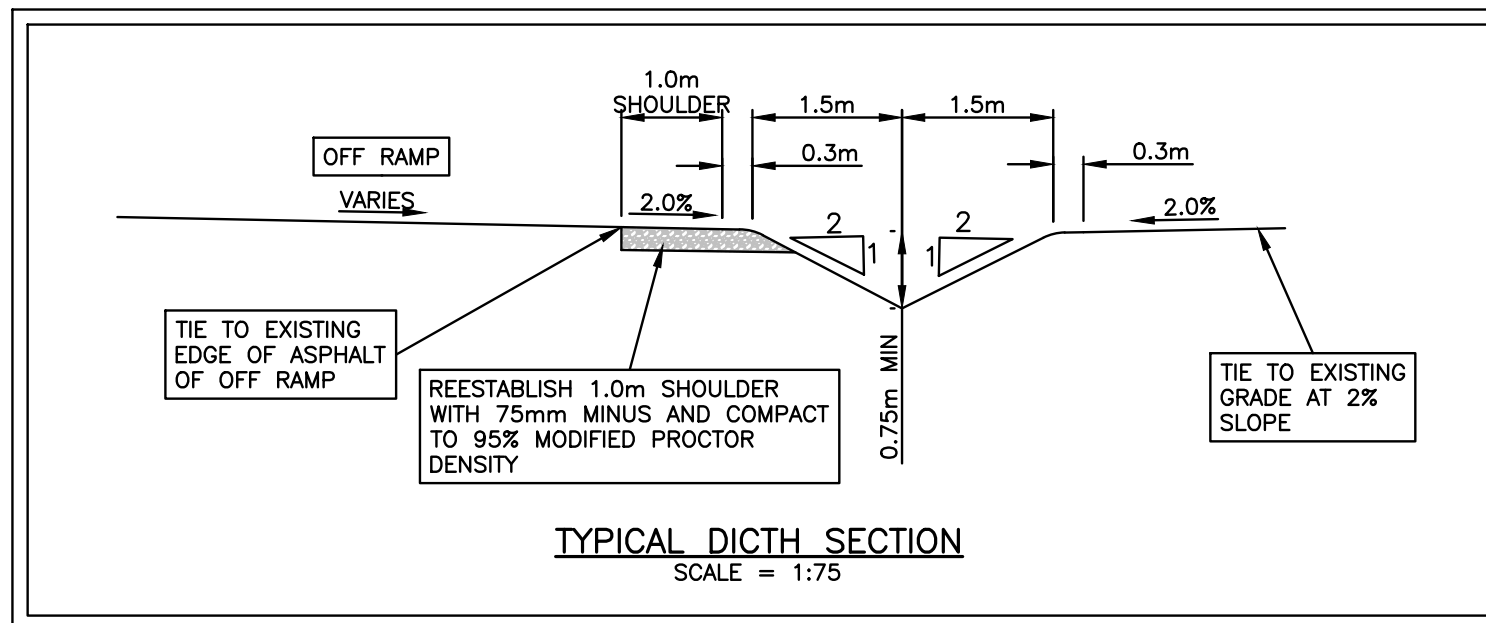
# CREUS Engineering

Civil Engineers & Project Managers  
#10 EAST TOWER - 221 ESPLANADE WEST, NORTH VANCOUVER BC, V7M3J3  
PH: 604-987-0070 WEBSITE: www.creus.ca



**DRAWING LEGEND**

	EXISTING	PROP.	TO BE REMOVED
LEGAL LINE	---	---	---
EASEMENT	---	---	---
WATERMAIN	---	---	---
SANITARY	---	---	---
STORM	---	---	---
HYDRO	---	---	---
TEL	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---
FIRE HYDRANT	⊗	⊗	⊗
GATE VALVE	⊗	⊗	⊗
AIR VALVE	⊗	⊗	⊗
REDUCER	⊗	⊗	⊗
INSPECTION CHAMBER	⊗	⊗	⊗
CATCHBASIN (STD/SI)	⊗	⊗	⊗
CAP	⊗	⊗	⊗
MANHOLE	⊗	⊗	⊗
POWER POLE	⊗	⊗	⊗
STREETLIGHT	⊗	⊗	⊗



approved

client  
**VILLAGE OF LIONS BAY**

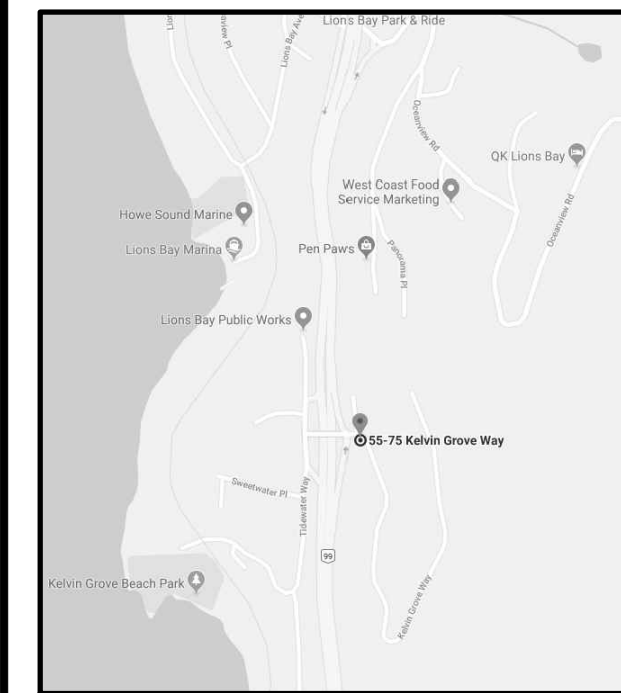
project  
**KELVIN GROVE LOT SERVICING LIONS BAY, BC**

title  
**ROADWORKS PLAN DITCHING**

1	18-05-30	ISSUED FOR MOTI REVIEW	AJB
no.	(y/m/d)	revision	chk'd

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designed by	KBH	file no.	18190
drawn by	AJB	drawing no.	R-1
date	2018-04-19		

**NOT FOR CONSTRUCTION**



SITE MAP

DRAWING LEGEND

	EXISTING	PROP.	TO BE REMOVED
LEGAL LINE	---	---	---
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HYDRO	---	---	---
TEL	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---

	EXISTING	PROP.	TO BE REMOVED
FIRE HYDRANT	⊗	⊗	⊗
GATE VALVE	⊗	⊗	⊗
AIR VALVE	⊗	⊗	⊗
REDUCER	⊗	⊗	⊗
INSPECTION CHAMBER	⊗	⊗	⊗
CATCHBASIN (STD/SI)	⊗	⊗	⊗
CAP	⊗	⊗	⊗
MANHOLE	⊗	⊗	⊗
POWER POLE	⊗	⊗	⊗
STREETLIGHT	⊗	⊗	⊗

approved

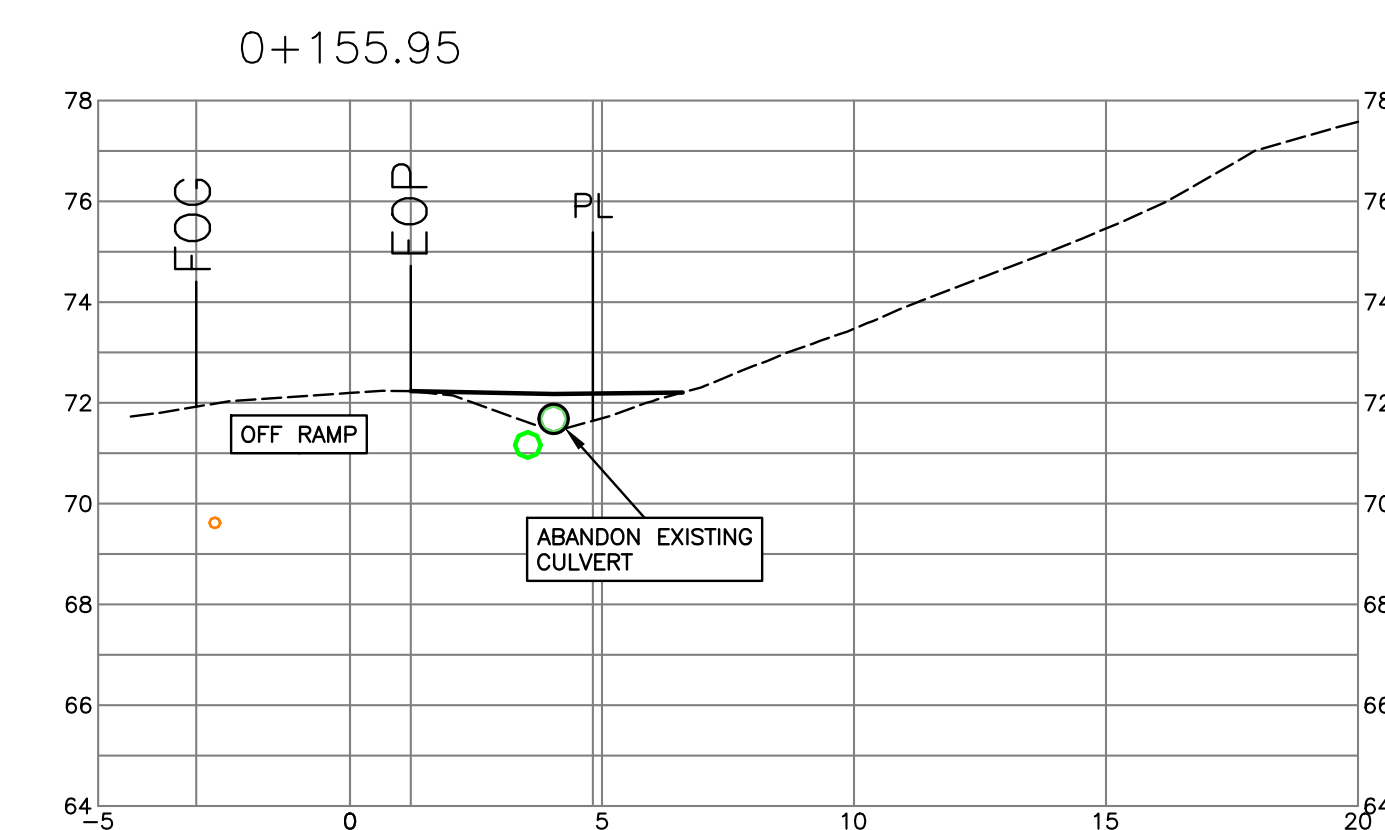
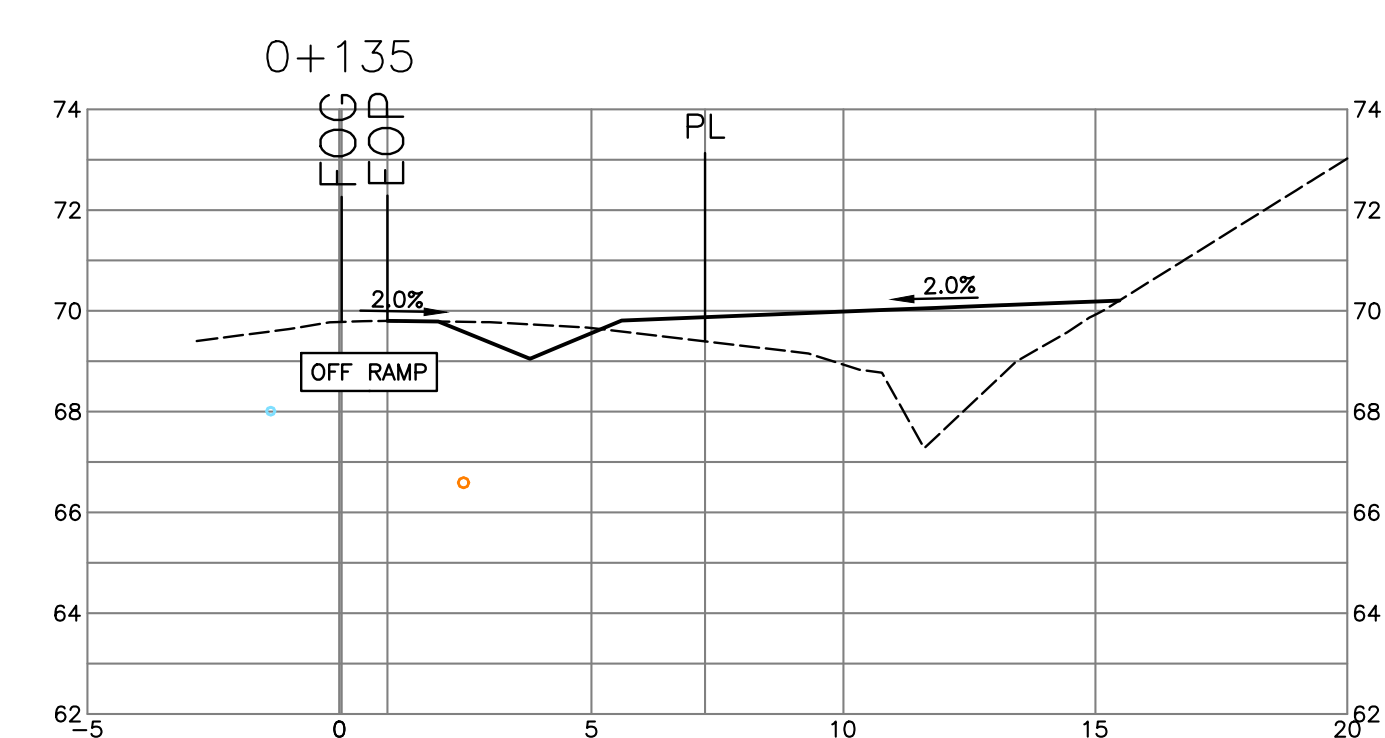
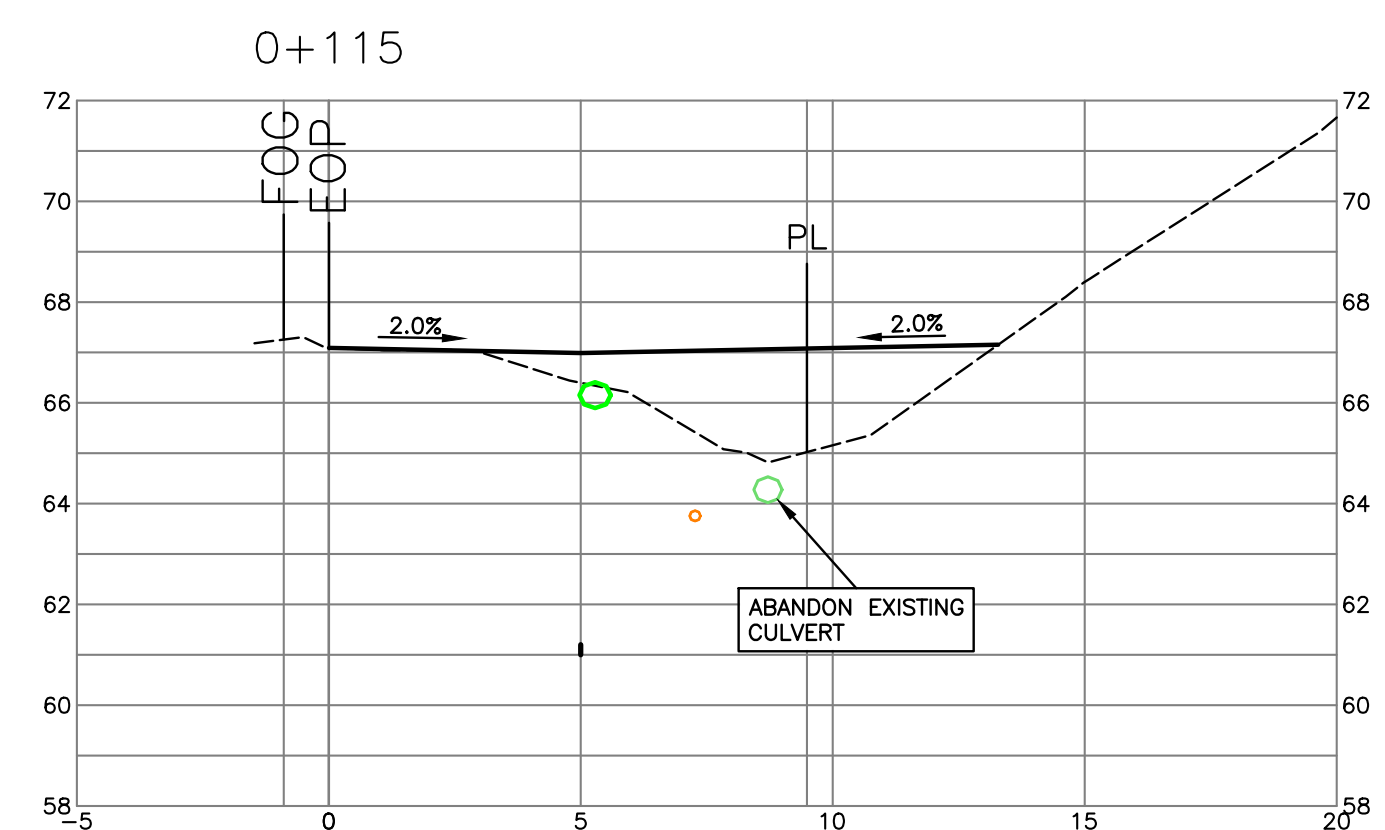
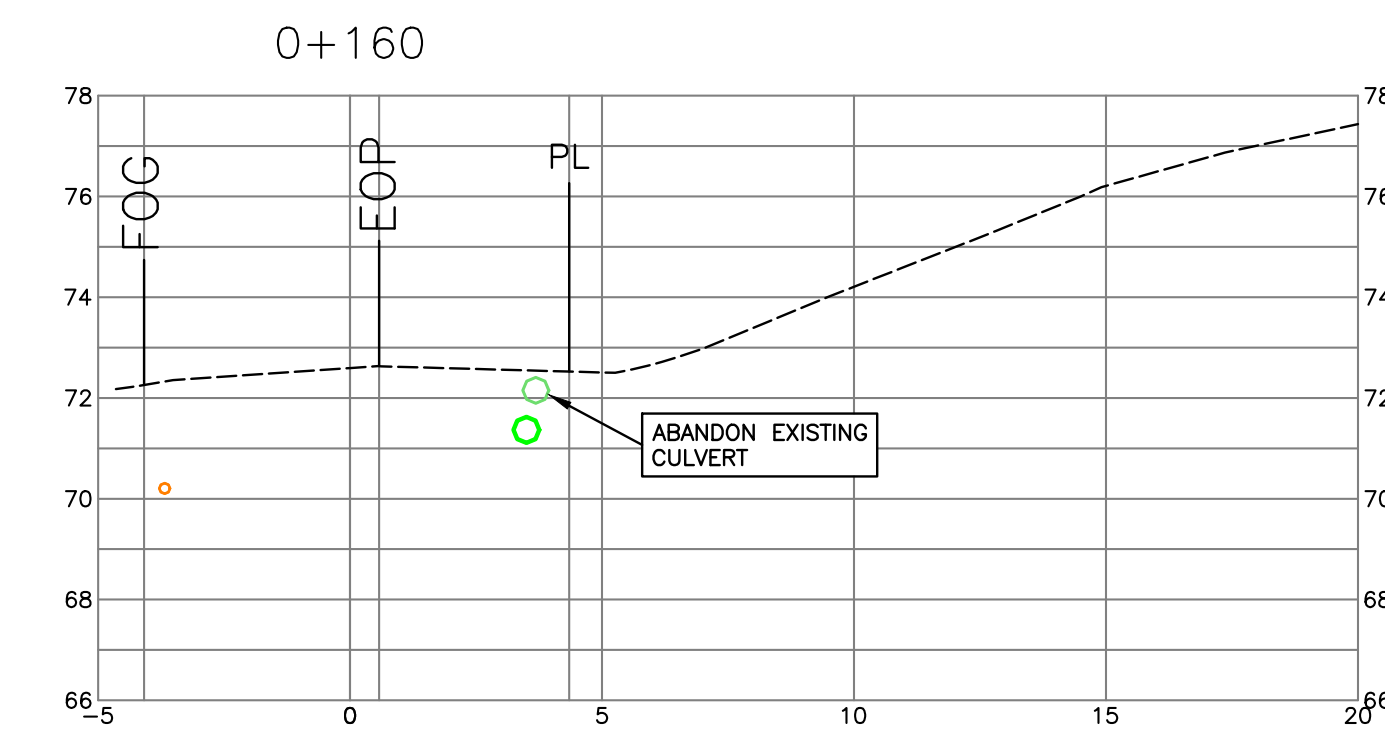
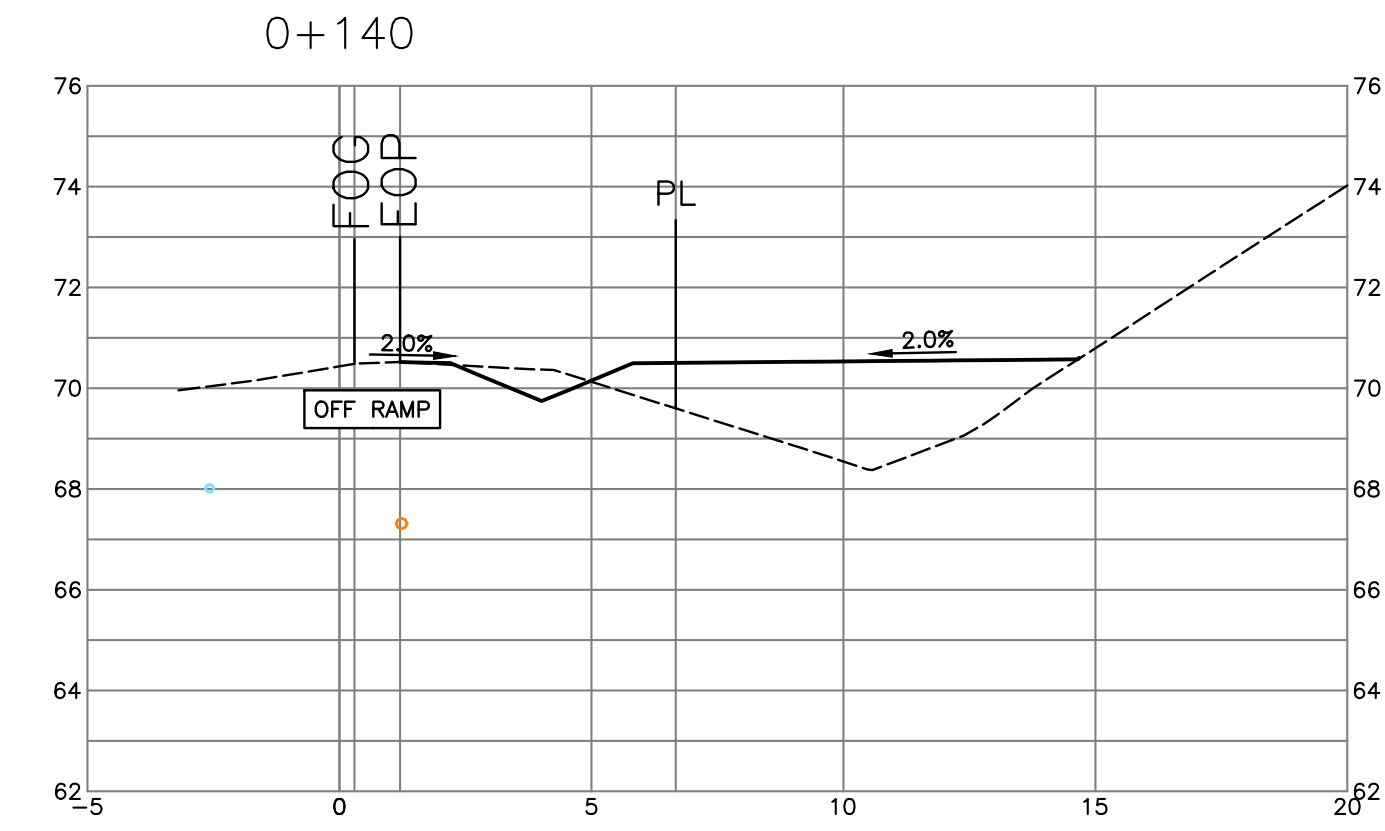
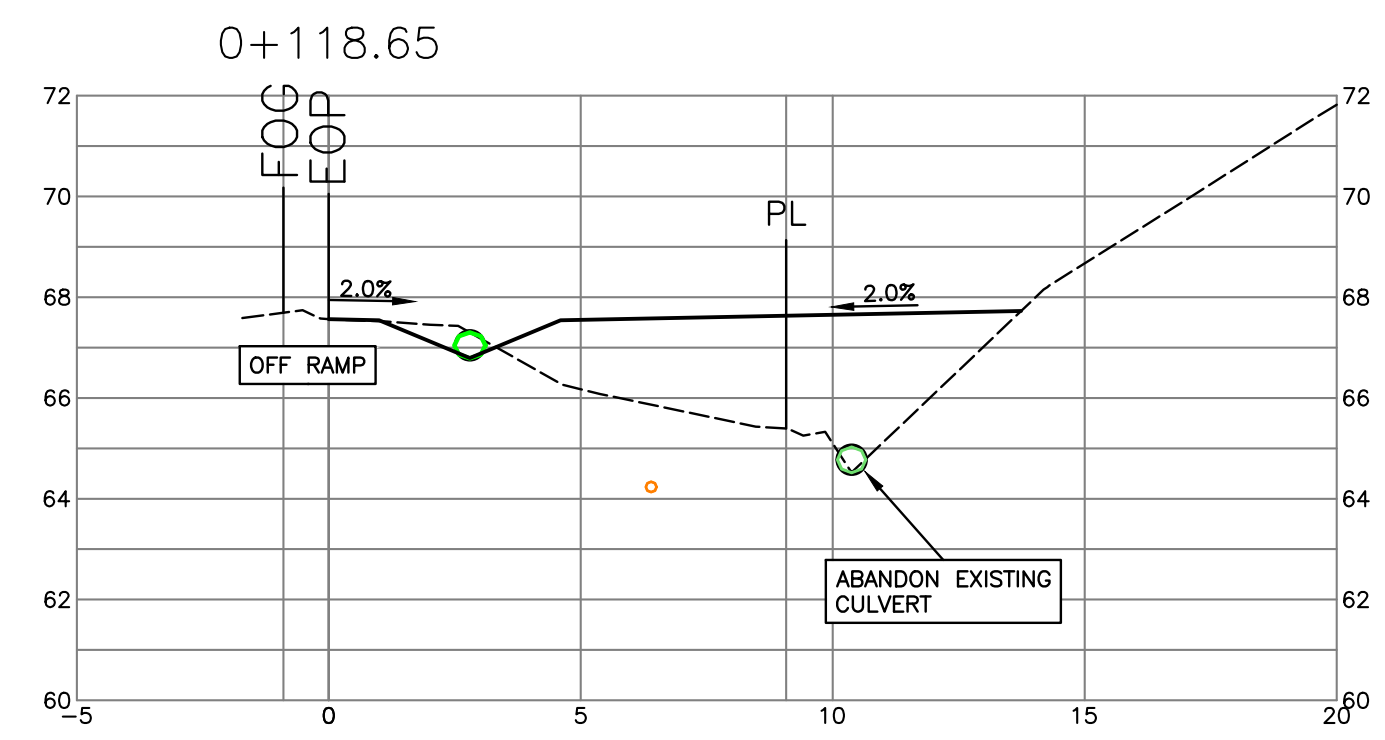
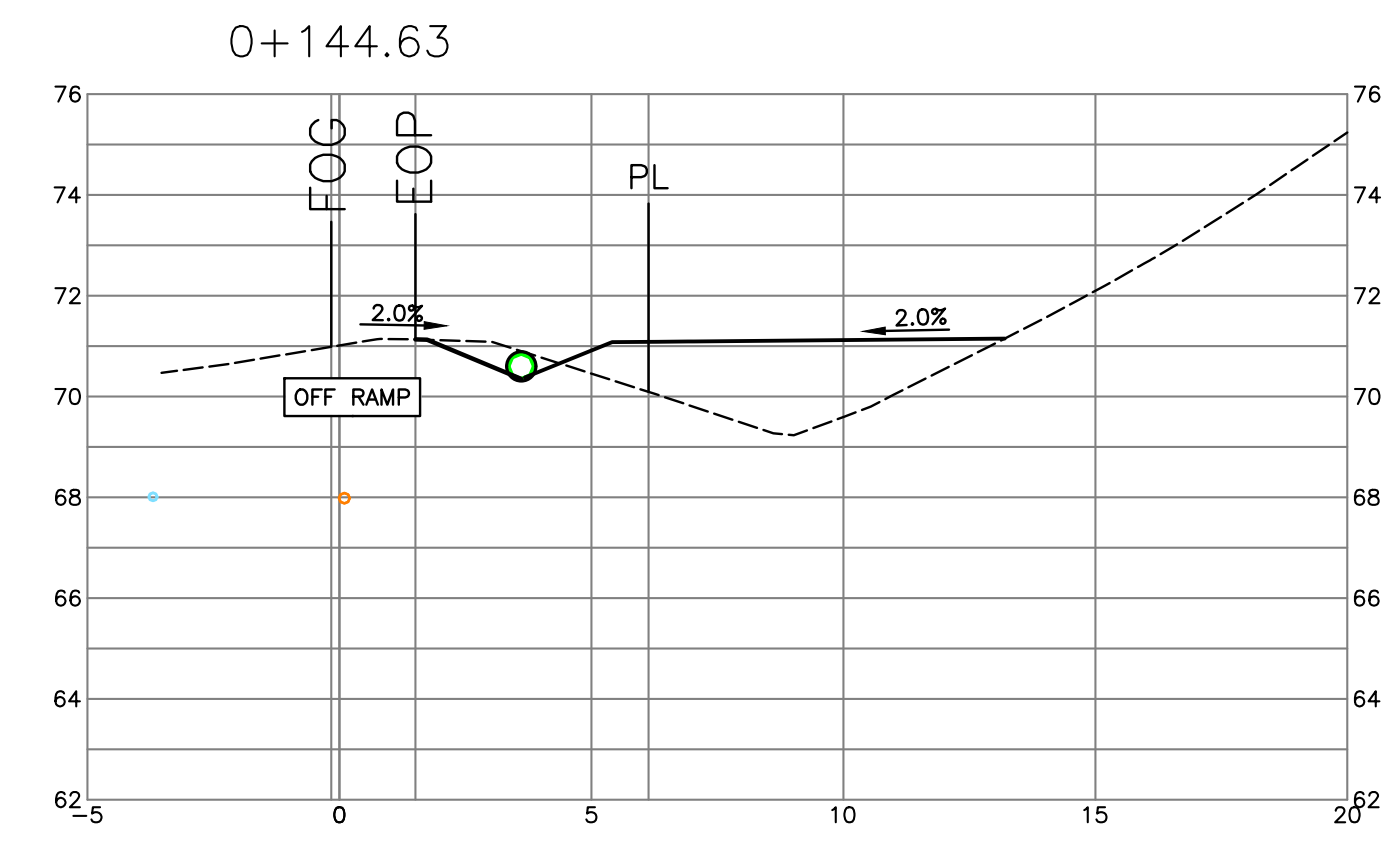
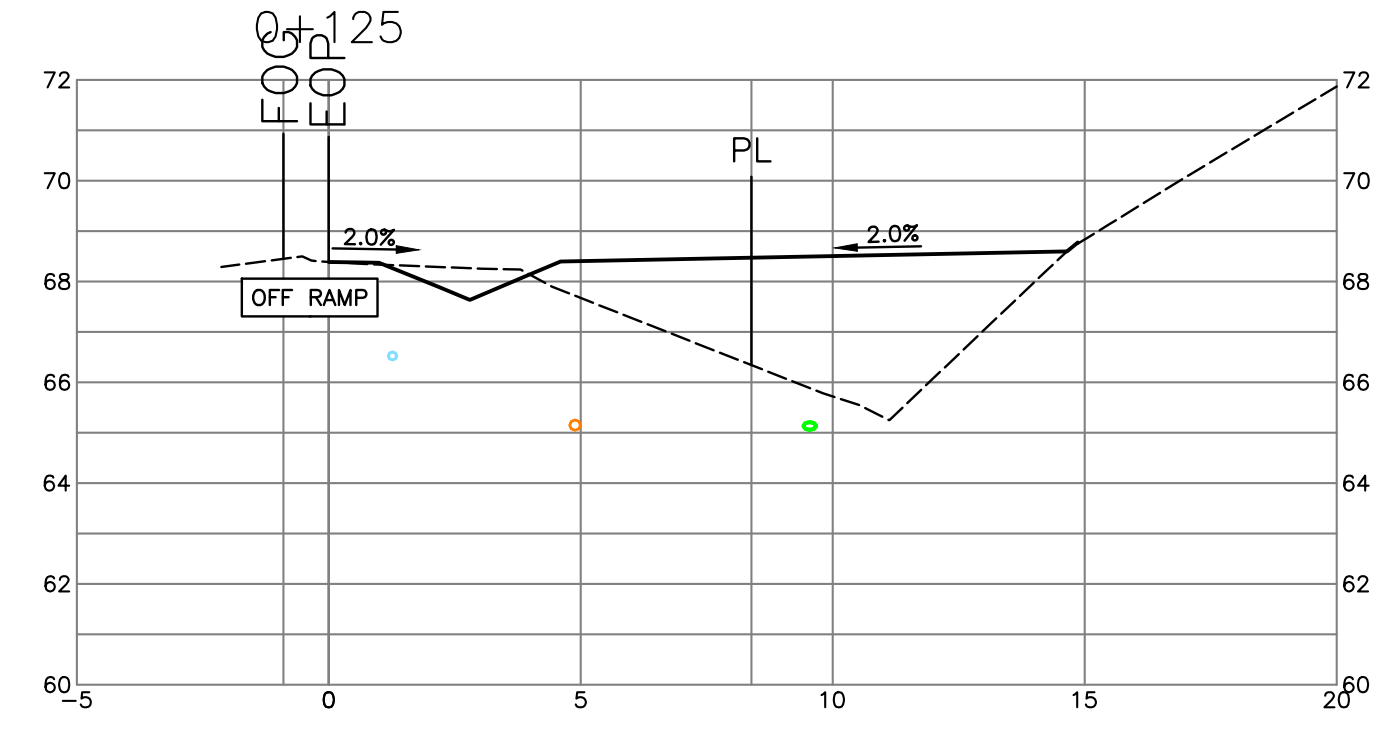
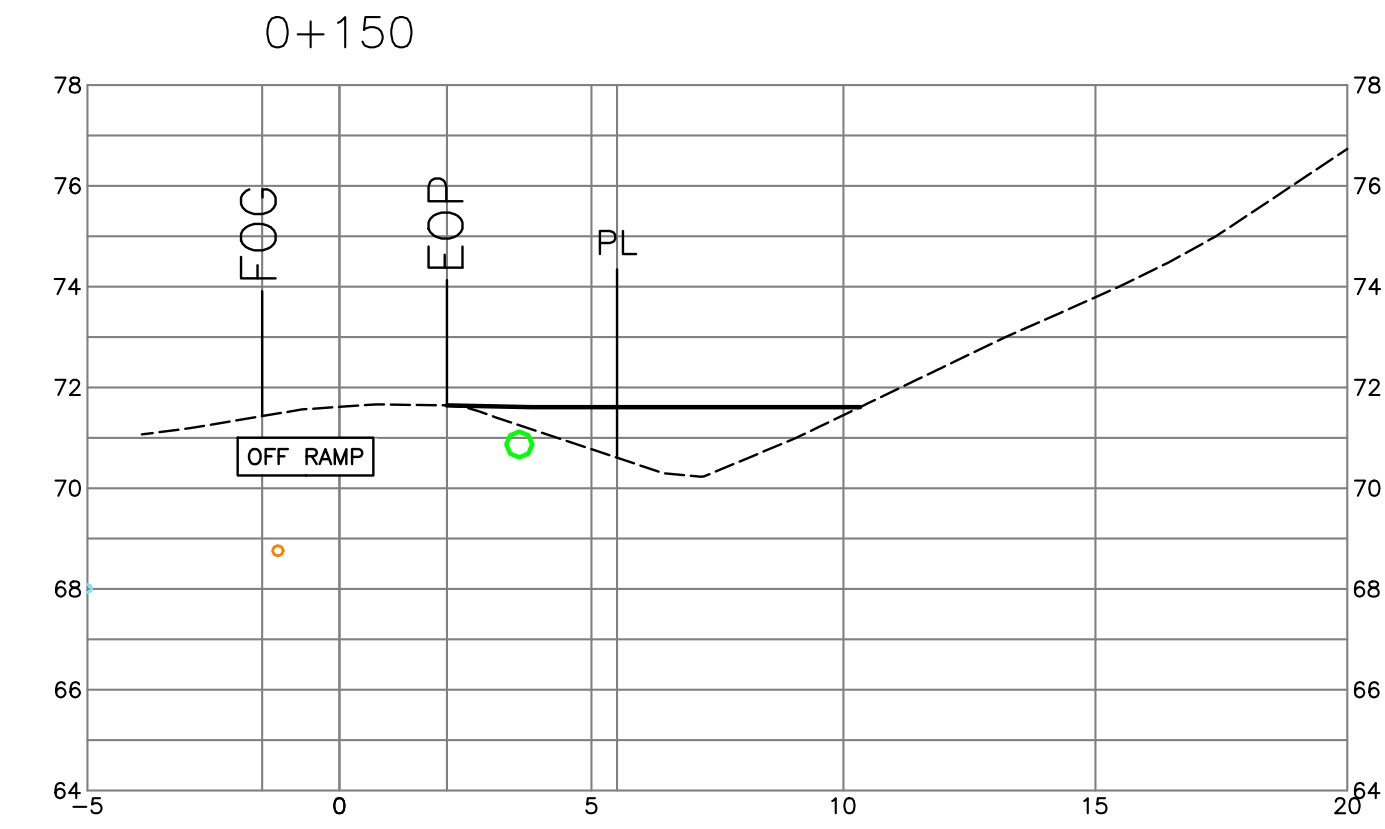
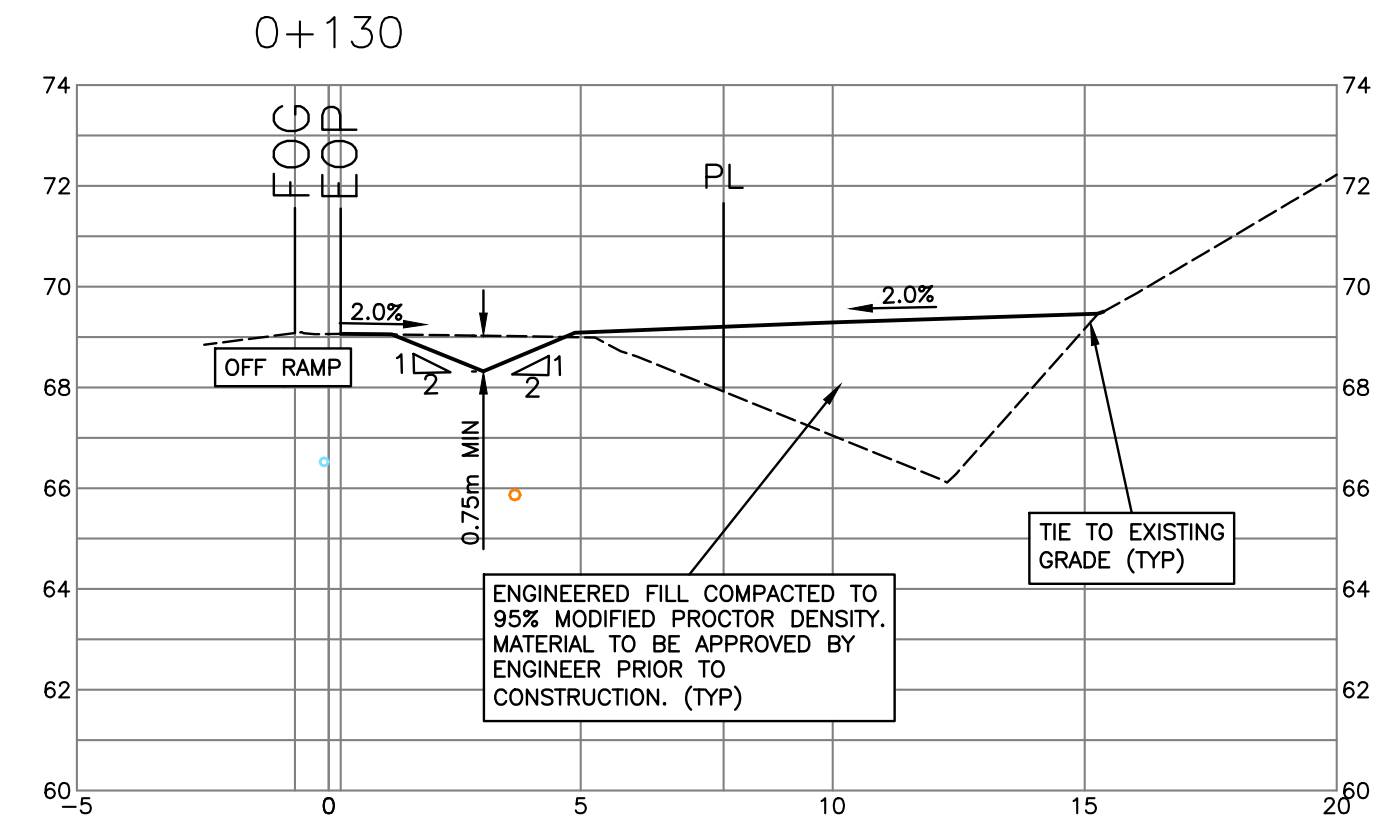
client  
**VILLAGE OF LIONS BAY**

project  
**KELVIN GROVE LOT SERVICING LIONS BAY, BC**

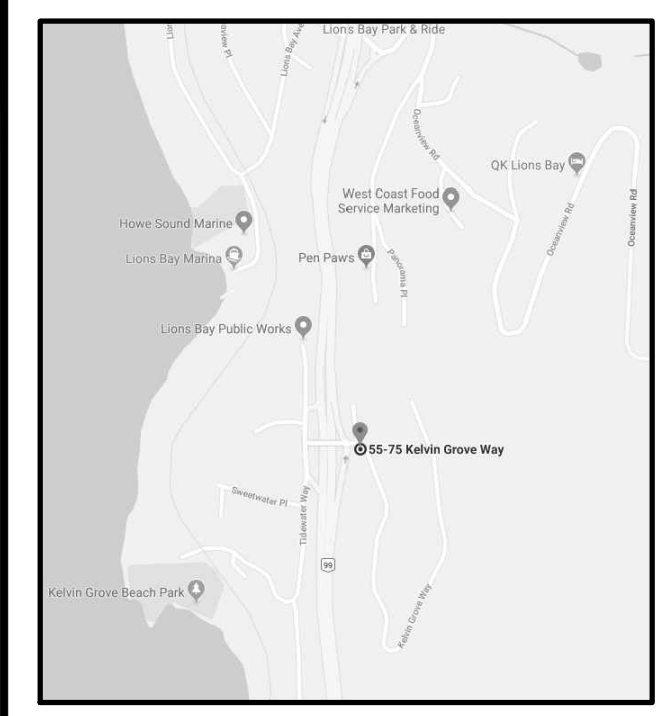
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**CROSS SECTIONS DITCH (STA 0+115 - STA 0+ 155.95)**

no.	(y/m/d)	revision	chk'd
1	18-05-30	ISSUED FOR MOTI REVIEW	AJB

engineer of record	KBH	scales	hor: 1:150	vert: -
designed by	KBH	file no.	<b>18190</b>	
drawn by	AJB	drawing no.	XS-1	
date	2018-04-19			



**NOT FOR CONSTRUCTION**



SITE MAP

DRAWING LEGEND

	EXISTING	PROP.	TO BE REMOVED
LEGAL LINE EASEMENT	---	---	---
WATERMAIN	---	---	---
SANITARY	---	---	---
STORM	---	---	---
HYDRO	---	---	---
TEL.	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---
FIRE HYDRANT	⊗	⊗	⊗
GATE VALVE	⊗	⊗	⊗
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INSPECTION CHAMBER	⊗	⊗	⊗
CATCHBASIN (STD/SI)	⊗	⊗	⊗
CAP	⊗	⊗	⊗
MANHOLE	⊗	⊗	⊗
POWER POLE	⊗	⊗	⊗
STREETLIGHT	⊗	⊗	⊗

approved

client  
 VILLAGE OF LIONS BAY

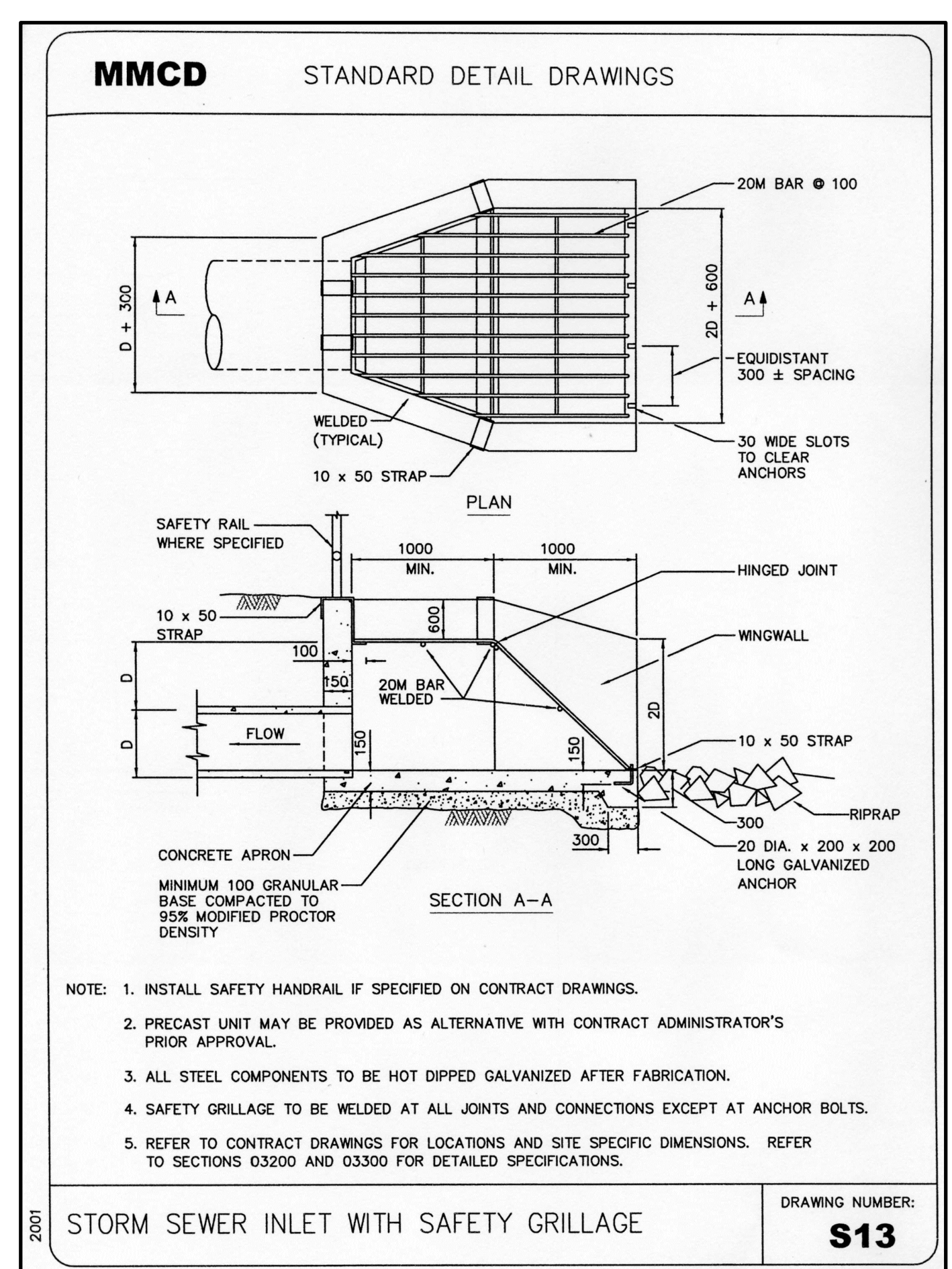
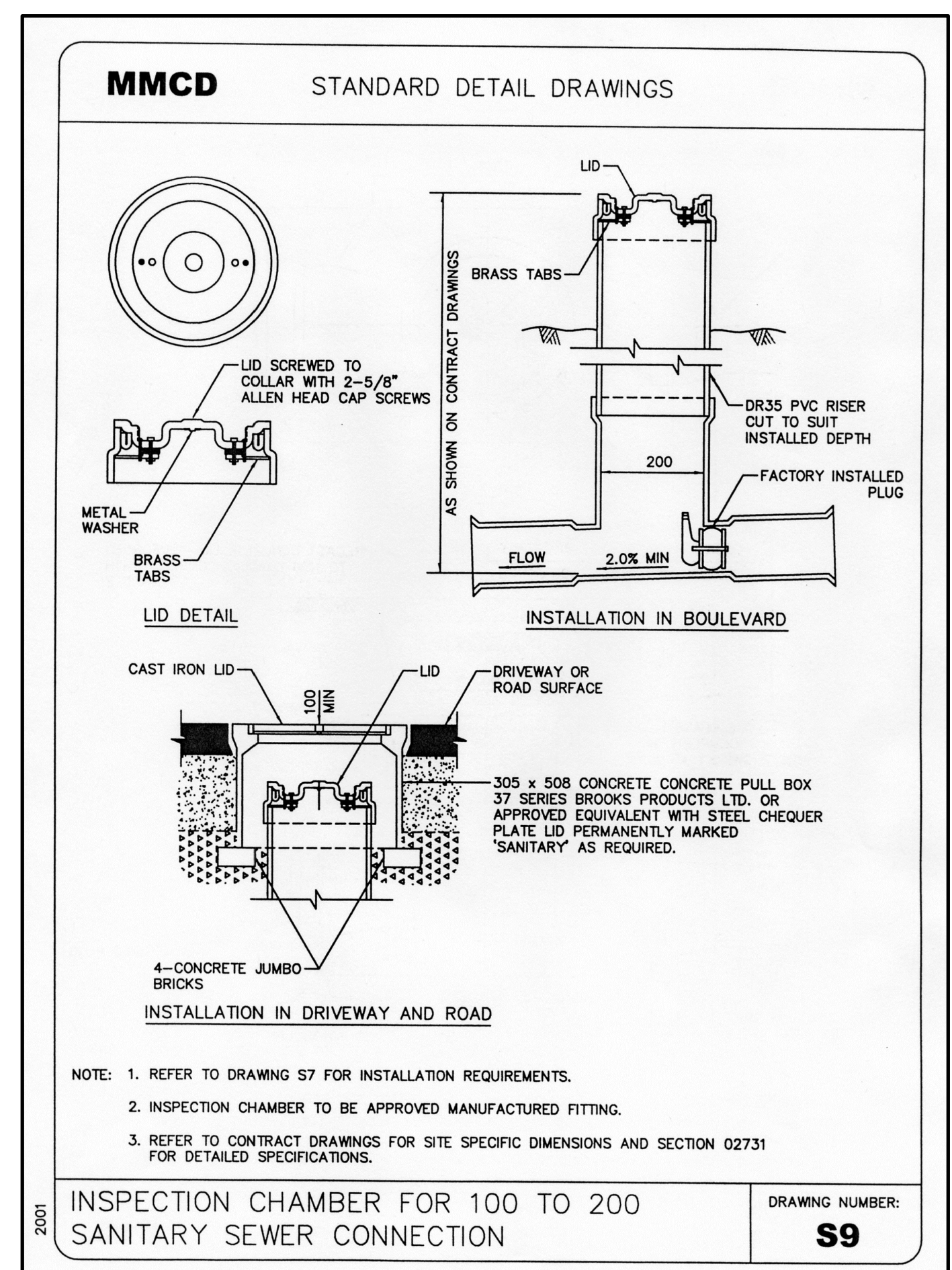
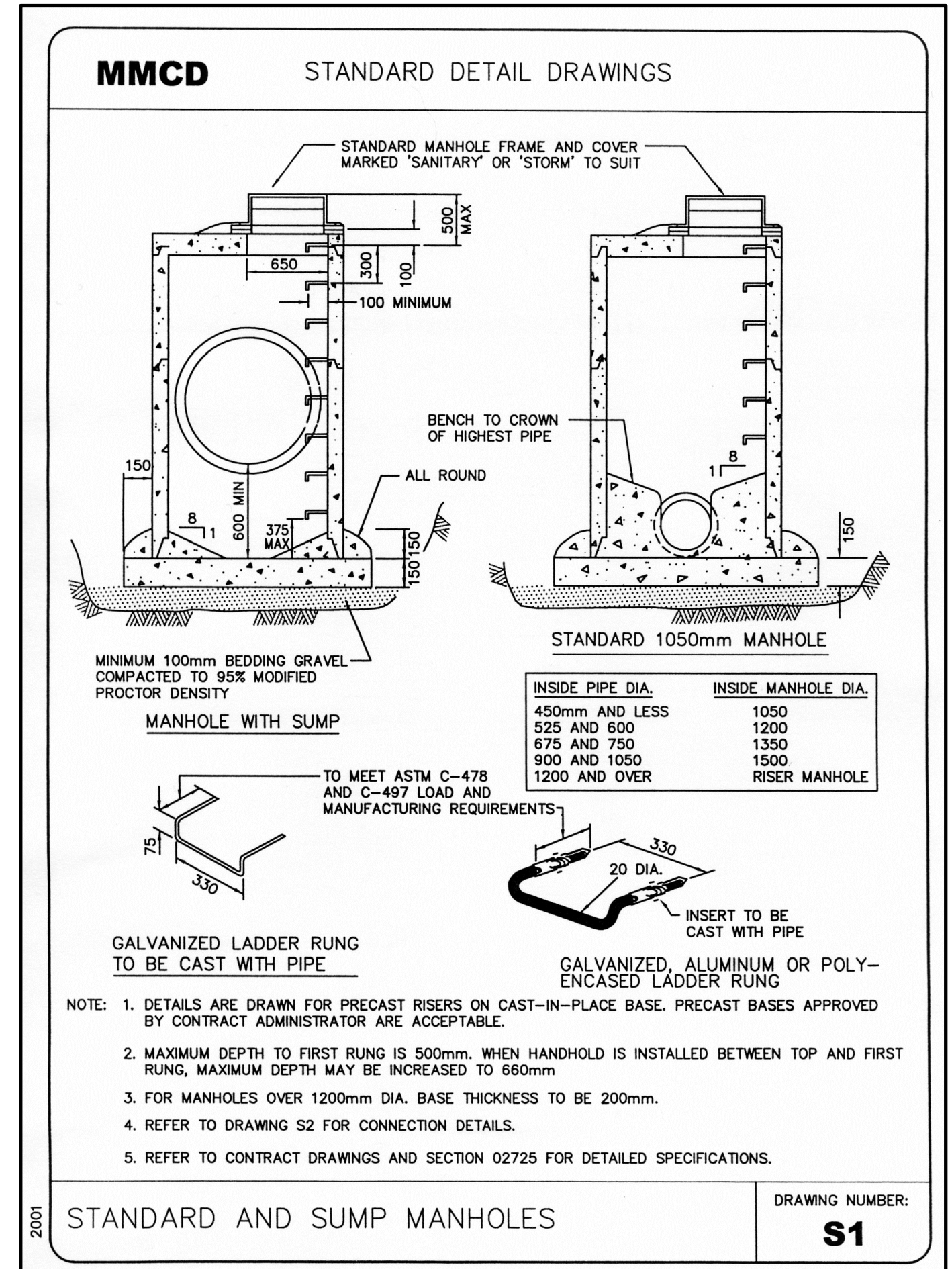
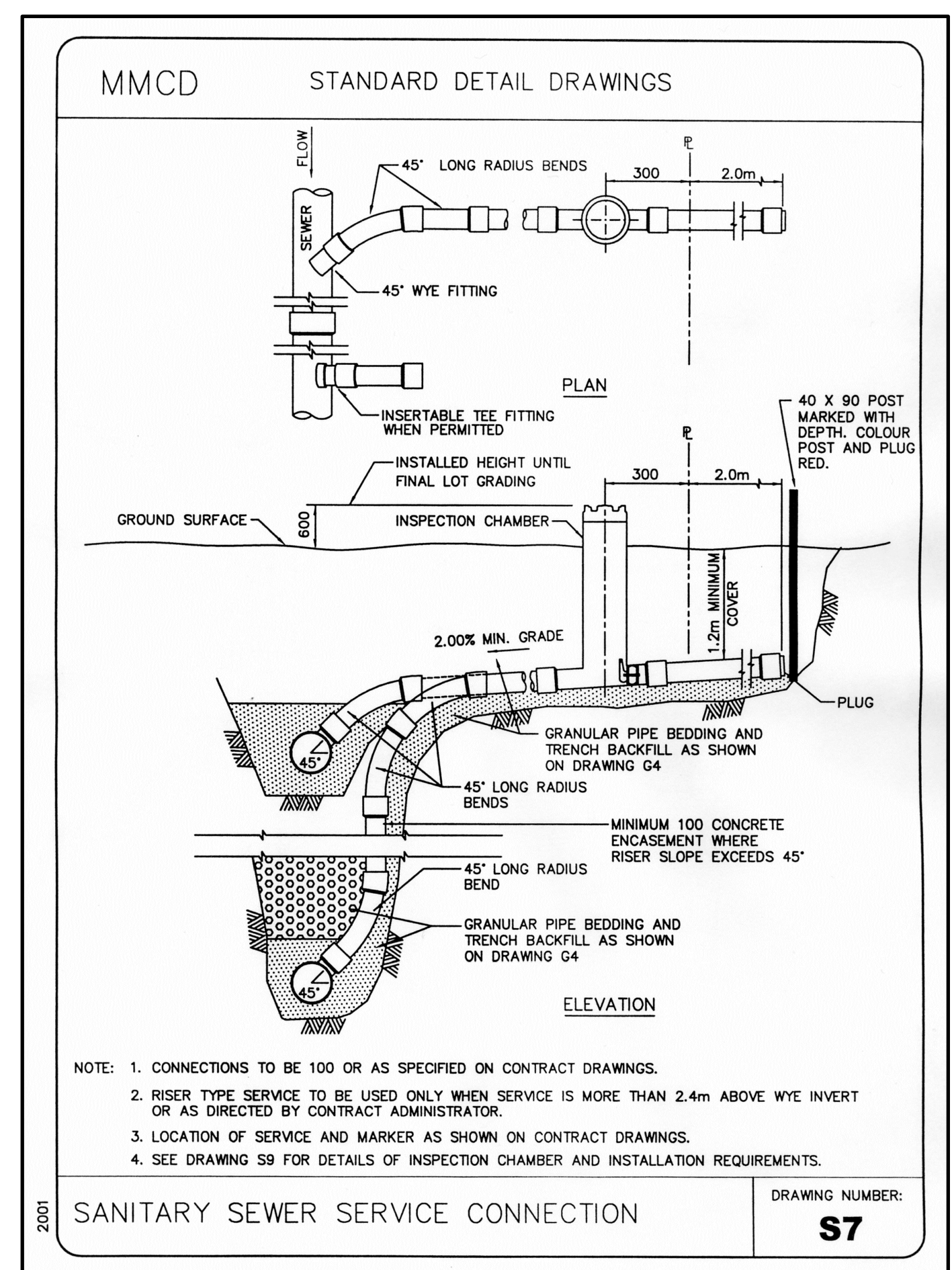
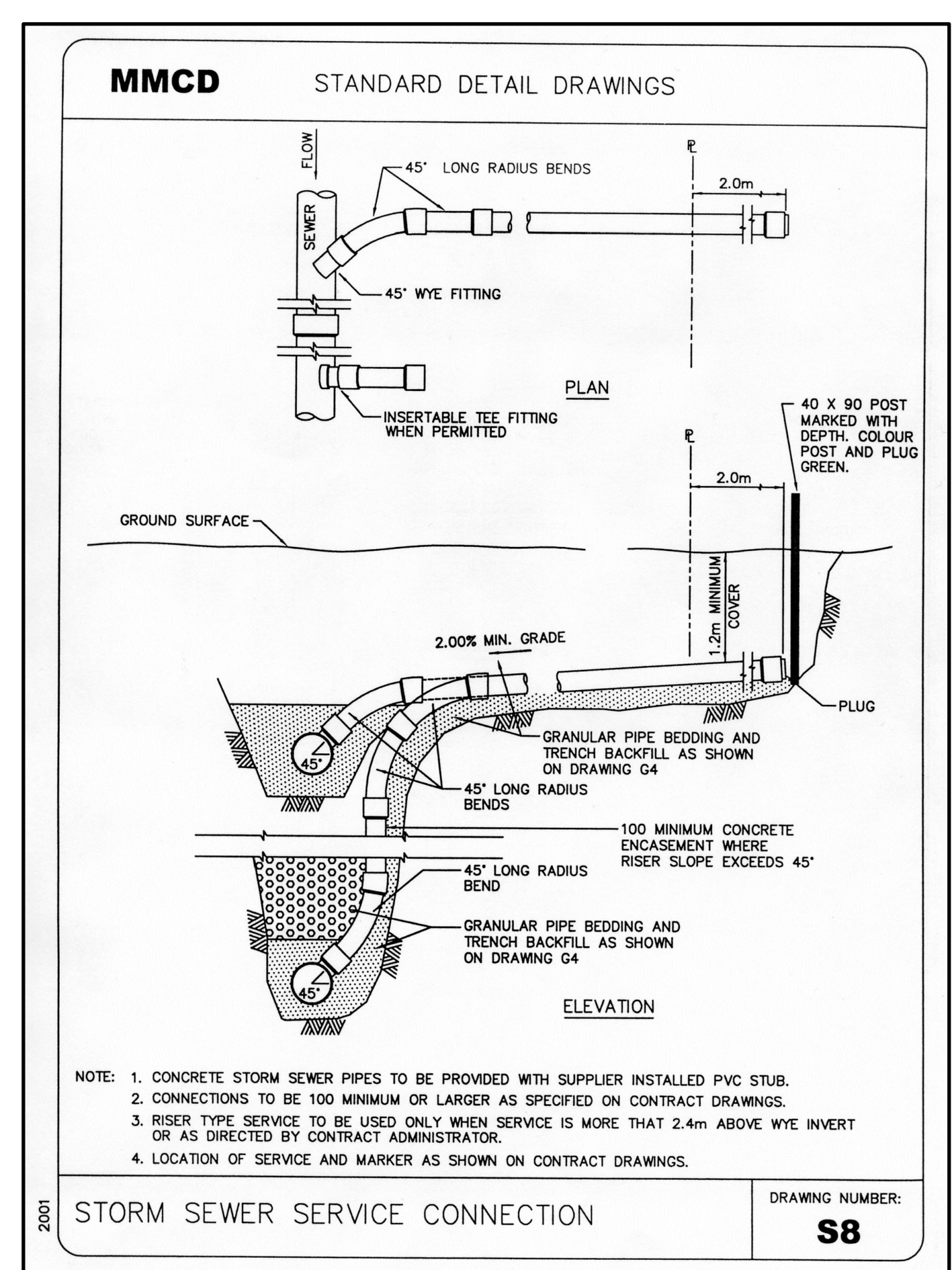
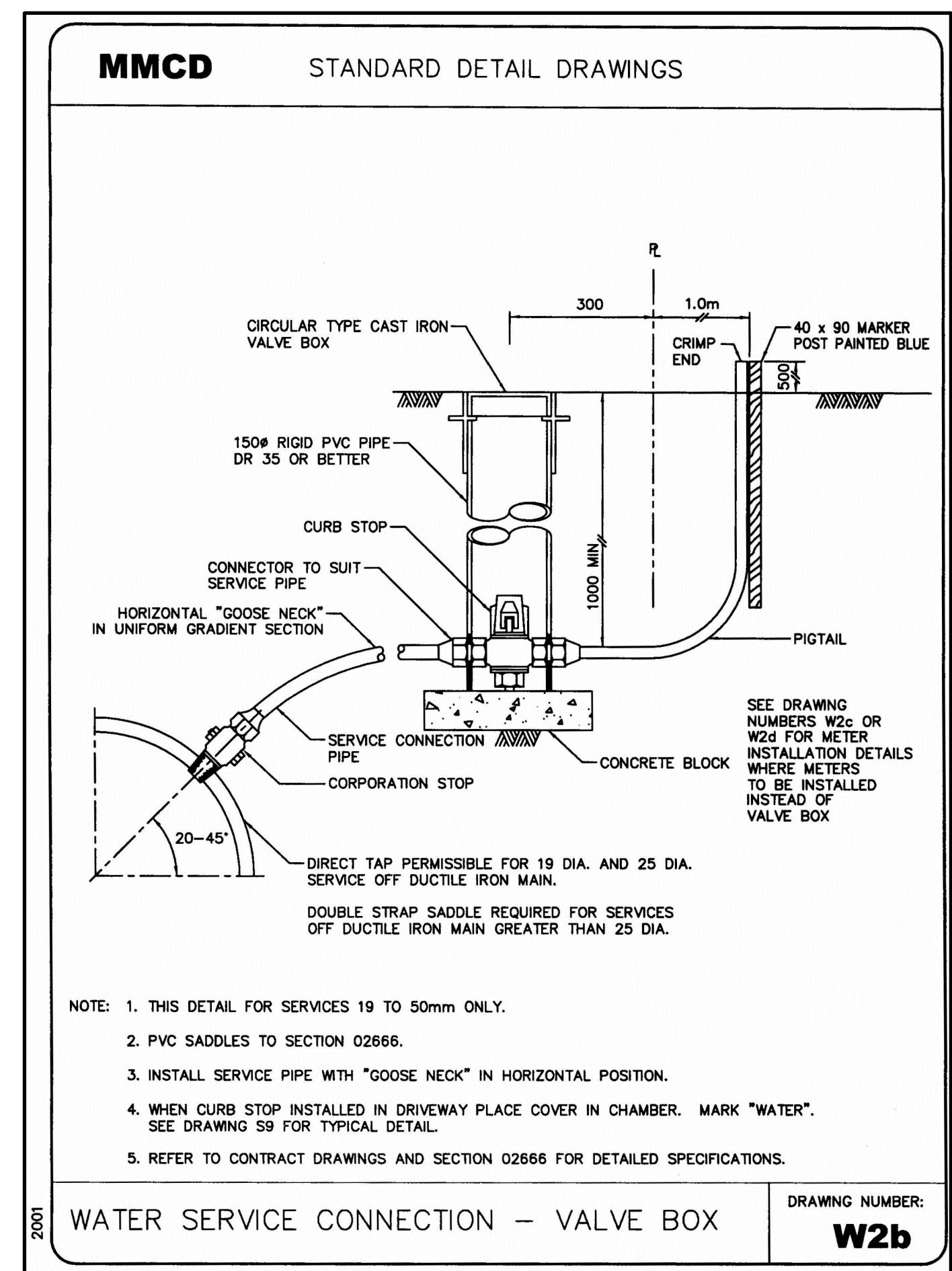
project  
 KELVIN GROVE LOT SERVICING  
 LIONS BAY, BC

DETAILS

no.	(y/m/d)	revision	chk'd
1	18-05-30	ISSUED FOR MOTI REVIEW	AJB

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engineer of record	KBH	scales	hor:	vert:
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date	2018-04-19			



NOT FOR CONSTRUCTION