



AGENDA

Board of Variance Committee Meeting

Monday, September 8, 2025, 6:00 p.m.

Council Chambers, 400 Centre Road, Lions Bay

And Via Zoom Video Conference

Zoom Invite Link: <https://us02web.zoom.us/j/2780145720?omn=87362259195>

To join via phone, dial 778-907-2071 | Meeting ID: 278 014 5720

We are privileged to be meeting and doing work on behalf of the residents of Lions Bay on the traditional unceded territory of the Squamish and Musqueam Nations.

Pages

1. **Call to Order**
2. **Appointment of the Chair**
Recommendation:
THAT ____ be appointed as the Chair of the Board of Variance Committee.
3. **Adoption of Agenda**
Recommendation:
That the Agenda of September 8, 2025, be adopted.
4. **Approval of Minutes of Prior Meetings**
 - 4.1 **Board of Variance Committee Meeting- August 30, 2023** 2
Recommendation:
THAT the Board of Variance Committee Meeting Minutes of August 30, 2023, be approved.
5. **Public Comments**
6. **New Business - Applications to be heard**
 - 6.1 **Lions Bay Beach Park** 5
Civic Address: Lions Bay Beach Park

Legal Description: Lot 29 of Lot 1 Blk A DL 1575 Plan 14552

Owner: The Village of Lions Bay

Request: To change the east property line setback from 2.4m (7.87') to 0.97m (3'2") from east property line, and the roof overhang from 0.6m to 0.051m from the property line, to accommodate the new public washroom building.
7. **Public Questions and Comments**
8. **Adjournment**
Recommendation:
THAT the Climate Action Committee Meeting be adjourned.



**BOARD OF VARIANCE MEETING
OF THE VILLAGE OF LIONS BAY
HELD ON WEDNESDAY, AUGUST 30, 2023, at 6:00 PM
AT 400 CENTRE ROAD, LIONS BAY, BC
AND VIA ZOOM VIDEOCONFERENCE**

MINUTES

In Attendance

Board of Variance: Morgan Gatto (Chair)
 Scott Gordon
 David Lee

Staff: Marina Blagodarov, Acting Municipal Coordinator (Recorder)

Public: 5 in gallery

Applicants: Christine and Sara Livingstone, owner
 Robert Smith, Jing Chen, Simon Smith, Sarah Smith, owners

- 1. Call to Order**
Morgan Gatto called the meeting to order at 6:03 p.m.
- 2. Appointment of Chair**
Morgan Gatto was appointed as the Chair last year.
- 3. Approval of the Agenda**
Moved/Seconded
THAT the August 30, 2023 Board of Variance agenda be approved, as amended.
Amends:
Item 4B was added to the agenda.
Item 6. 2) a) was added to the agenda.

CARRIED

4. Approval of the Minutes

A. Moved/Seconded

THAT the February 8, 2023 Board of Variance Meeting Minutes be approved as circulated.

CARRIED

B. Moved/Seconded

THAT the October 12, 2022 Board of Variance Meeting Minutes be approved as circulated.

CARRIED

5. Public Comments

none

6. New Business – Applications to be Heard

- 1) Civic Address:** 340 Bayview Road, Lions Bay, BC
Legal Description: Lot 7 Block 9 DL 1575 Plan NWP13432
Owner: Christine and Sara Livingstone
Request: To change the front yard setback from 7.5 meters to 5.2 meters to accommodate a garage in the front yard.

Decision: After considering the facts before it, the Board of Variance determined that the requested variance was reasonable and would not result in any negative impact to the neighbouring properties.

Moved/Seconded
THAT the front yard setback be changed from 7.5 meters to 5.2 meters to accommodate a garage in the front yard.

CARRIED

- 2) Civic Address:** 26 Brunswick Beach Road, Lions Bay, BC
Legal Description: Lot H Block 19 DL 1815 Plan 18523
Owner: Robert Smith, Jing Chen, Simon Smith, Sarah Smith
Request: A relaxation of the building height for the Roof Mean Elevation. The roof mean elevation is requested to go from 29'6 3/8" (9.0m) to a new variance of 31'7" (9.64m) mean elevation for the pitch roof (a total of 2.1' over height). The roof elevation is to be 3/12 pitch, no greater.

a) Revised plan was added

Decision: After considering the facts before it, the Board of Variance determined that the requested variance was reasonable and would not result in any negative impact to the neighbouring properties.

Moved/Seconded

THAT with the revised plan the roof mean elevation go from 29'6 3/8" (9.0m) to a new variance of 31'7" (9.64m) mean elevation for the pitch roof (a total of 2.1' over height). The roof elevation is to be 3/12 pitch, no greater.

CARRIED

7. Public Questions and Comments

None

8. Adjournment

Moved/Seconded

THAT the meeting be adjourned.

CARRIED

The meeting was adjourned at 6:28 p.m.

Chair

Corporate Officer

Date Approved:	
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Schedule "A"

**Village of Lions Bay
Board of Variance Application Form**



I hereby apply for a hearing before the Board of Variance for:

LAND SUBJECT OF THE APPLICATION	
Street Address:	LIONS BAY BEACH PARK, LIONS BAY AVENUE, THE MUNICIPALITY OF THE VILLAGE OF LIONS BAY
Legal Description:	LOT 29 OF LOT 1 BLOCK A DISTRICT LOT 1575 PLAN 14552
Zoning:	CU-1 COMMUNITY USE (SCHEDULE A - ZONING AND DEVELOPMENT BY-LAW NO. 520, 2017)
OWNER/CONTACT INFORMATION	
Full Name(s) of Property Owner(s):	THE VILLAGE OF THE MUNICIPALITY OF LIONS BAY
Full Name of Owner's Authorized Representative (if applicable):	NICK BRAY
Address to Which Notices Should be Mailed:	2531 ONTARIO STREET, VANCOUVER, BC V5T 2X7
Daytime Phone # of Owner or Authorized Representative:	(604) 900-8238
Name of Person Who Will Represent Applicant at the Hearing:	NICK BRAY
TYPE OF APPLICATION (Complete Applicable Section)	
A. VARIANCE OF BYLAW RESPECTING SITING, SIZE OR DIMENSION OF A BUILDING OR STRUCTURE [s.540(a)(i)]	
Bylaw Name/Number & Section(s) from which relief is sought:	ZONING AND DEVELOPMENT BY-LAW
Variance From (current requirement):	7.5M (24'6") FROM EAST PROPERTY LINE 2.4m (7'8")
To (new requirement requested):	0.05M (2") SETBACK FROM EAST PROPERTY LINE 0.97m (3'2")
B. EXEMPTION FROM PROHIBITION OF A STRUCTURAL ALTERATION OR ADDITION TO A BUILDING OR STRUCTURE WITH A NON-CONFORMING USE [s.540(c) and s.531(1)]	
Bylaw Name/Number & Section(s) Which Previously Permitted Use:	
Bylaw Name/Number & Section(s) Which Resulted in Legal Non-Conforming Status:	

Continuing Non-Conforming Use:
Structural Alteration or Addition Desired:
<i>Note: If alteration or addition will result in a structure contrary to current bylaw siting, size or dimension requirements, also complete Section A.</i>
C. APPEAL OF BUILDING INSPECTOR'S DETERMINATION OF DAMAGE TO NON-CONFORMING BUILDING [s.532(1) and s.544]
Date of Building Inspector's Determination (application must be filed within 30 days):
Summary of Building Inspector's Determination (copy attached):
Determination Requested of Board:
D. EXEMPTION TO RELIEVE HARDSHIP FROM EARLY TERMINATION OF LAND USE CONTRACT [s.543]
Bylaw Name(s)/Number(s) & Section(s) from which relief is sought:
Variance From (current requirement):
To (new requirement requested):
STATEMENT OF HARDSHIP (not required for Type C applicants)
<p>I allege that compliance with either the bylaw or section 531(1) [strike one] would cause me hardship by:</p> <p>THE PROPOSED PUBLIC WASHROOM BUILDING IS INTENTIONALLY LOCATED ON THE SITE OF THE EXISTING, DILAPIDATED WASHROOM BUILDING. THE PLACEMENT IS CAREFULLY CONSTRAINED BY FIXED SITE CONDITIONS: THE PROPERTY LINE TO THE EAST, A LANDSCAPED RETAINING WALL TO THE WEST, AND THE EXISTING SEPTIC SYSTEM TO THE SOUTH. WITHIN THESE PARAMETERS, THE SIZE AND FUNCTION OF THE PROPOSED PUBLIC WASHROOM BUILDING RESULTS IN A ROOF SETBACK OF 0.05 M (2 INCHES) FROM THE EASTERN PROPERTY LINE.</p> <p>(attach additional pages if necessary)</p>
TIME REQUIRED TO COMPLETE
Respecting Type A or B applications, the Board may specify a time for completion of the construction of the Building or Structure permitted by the minor variance or exemption, after

which the permission or exemption would terminate. If your application is permitted, when do you expect to complete the work?

WINTER 2026

ADDITIONAL INFORMATION/REASONS SUPPORTING THE APPLICATION

GIVEN THAT THE PROPOSED PUBLIC WASHROOM BUILDING IS PREDETERMINED BY THE EXISTING SITE CONSTRAINTS NOTED IN THE STATEMENT OF HARDSHIP ABOVE, THE PROPOSED 0.05M (2 INCH) SETBACK FROM THE EAST PROPERTY LINE DOES NOT NEGATIVELY IMPACT NEIGHBOURING PROPERTIES, PUBLIC SAFETY OR THE INTENDED USE OF THE BUILDING. ADDITIONALLY, THE PROPOSED ROOF MATERIALS ARE ROBUST AND FIRE-RESISTANT, HELPING TO REDUCE ANY RISKS.

(Attach additional pages if required)

ATTACHMENTS

Fee and Title Documents:

- ☐ A Non-refundable application fee of \$500.00 (cash or cheque), payable to the Village of Lions Bay.
- ☐ A Title Search Print dated within 30 days of the application and copies of all registered non-financial encumbrances noted thereon.

Drawings Which May be Required:

- ☐ A site plan showing the location of all Buildings and Structures, or proposed Buildings or Structures, on the subject property, preferably prepared and signed by a BC Land Surveyor A floor plan (for existing and proposed Buildings) showing space uses and door and window locations, preferably certified by an architect or structural engineer.
- ☐ A Building or Structure elevation plan preferably certified by an architect or structural engineer, including original and proposed alterations to site levels, if applicable.

Other Documents Which May be Required:

- ☐ A geotechnical engineer's report with respect to drainage, topography, and other geotechnical considerations.
- ☐ Explanatory materials and such other additional information as may be advisable in support of the application (eg: photographs, letters of support, etc.)

The Village Building Department may have some of the documents noted above – check first before ordering new. Further information may be required to enable the Board of Variance members to visualize the proposal and its relationship to the surrounding area. Approval, if given by the Board, is for the plans submitted. Changes to plans after the Board's decision will require a new application.

SIGNED BY ALL OWNERS ON TITLE ON AUGUST 21, 2025:
(month) (day) (year)

Note: Decisions of the Board of Variance regarding Type A, B or D applications are FINAL, other than an appeal to the BC Supreme Court in respect of procedure under the *Judicial Review Procedure Act*. Decisions regarding Type C applications may be appealed by the applicant or the Village of Lions Bay to the BC Supreme Court. Information in this application is subject to the *Freedom of Information and Protection of Privacy Act*.

IMPORTANT INFORMATION

On finding hardship, the Board may order a minor variance or exemption if it would not:

- (a) result in inappropriate development of the site;
- (b) adversely affect the natural environment;
- (c) substantially affect the use and enjoyment of adjacent land;
- (d) vary permitted uses and densities under the applicable bylaw; or
- (e) defeat the intent of the bylaw.

An order of the Board must not:

- (a) be in conflict with a registered *Land Title Act* Covenant;
- (b) deal with a matter covered in a land use contract or permit;
- (c) deal with a phased development agreement;
- (d) deal with a floodplain specification under the *Local Government Act*; or
- (e) apply to a heritage property.

STAFF REPORT TO THE BOARD OF VARIANCE

Re: Variance Application – Beach Park Public Washroom Facility

Purpose

The purpose of this report is to provide the Board of Variance with planning analysis and recommendations regarding a variance application submitted by Nick Bray Architecture on behalf of the municipality. The application seeks relief from the side yard setback requirement in the Community Use (CU-1) Zone to accommodate the construction of a new public washroom building within Beach Park.

Background

Beach Park is a municipally operated public recreation area that is split zoned. The lower portion of the site is designated Water – Marine Community Recreation (W-2), while the upper portion is zoned Community Use (CU-1). The proposed washroom building will be located on the CU-1 portion of the property. The currently location has been directed through discussion between Council and the designer.

The application proposes to site the washroom building 0.05 metres (2 inches) from the eastern side parcel line for the roof structure 1.13m from the building face to the PL.

The applicant notes that the proposed location is directly constrained by existing fixed site conditions, including:

- The eastern property line;
- A landscaped retaining wall to the west; and
- An existing septic system to the south.

The new building is intended to replace the existing, dilapidated public washroom structure in the same location.

Section 14.3 (3) establishes the following minimum side yard setback requirement in the CU-1 Zone as follows: *“The greater of 2.4 metres or 10 percent of the length of the front parcel line, from a side parcel line.”* Section 4.7 (2) states *“The following features may project into the setback area required by this bylaw between a building and front, rear or side parcel lines:*

- (a) gutters, cornices, sills, belt courses, bay windows, chimneys, heating or ventilating equipment if the projections do not exceed 0.6 metres;
- (b) eaves, porches, canopies and sunshades if the projections, measured horizontally, do not exceed:
 - (i) 1.5 metres for front and rear parcel lines, or
 - (ii) 0.6 metres for side parcel lines provided that the foundation or supports for them do not encroach into any required front, side or rear setback area.

Discussion

From a planning perspective, the 2.4 metre side yard setback standard is generally intended to mitigate the impacts of larger public-use structures on adjacent residential uses. This can include considerations such as noise, massing, privacy, and overall compatibility. Larger setbacks provide a buffer between intensive public activity and more sensitive land uses such as single-family dwellings.

However, this rationale does not apply in all contexts. In commercial areas, or where civic buildings are situated adjacent to commercial uses, setbacks are often reduced or eliminated (i.e., zero lot line developments) without creating compatibility issues.

In this case, the property directly east of the proposed washroom site is zoned for commercial use and is situated approximately 15–20 feet below the grade of the subject parcel. The adjacent commercial activities already generate a degree of noise and activity, whereas the proposed one-storey washroom building is relatively benign in terms of land use impacts.

It is further noted that the Zoning Bylaw (Section 4.7(2)(b)) already allows for certain projections such as eaves, porches, canopies, and sunshades to encroach within a side yard setback up to 0.6 metres. This demonstrates that minor intrusions into setbacks are considered acceptable in the broader regulatory framework.

Given the constrained nature of the site, the functional requirements of the washroom facility, and the negligible land use impacts on adjacent commercial uses, the requested variance is consistent with good planning principles.

Summary

The variance request arises from fixed site constraints that prevent the washroom facility from being located elsewhere on the property. The proposed building will replace the existing washroom structure in its current location and will provide an essential public amenity to park users. The immediately adjacent property is commercial in nature, situated well below the grade of the subject site, and therefore not sensitive to the limited impact generated by the proposed building's reduced setback.

Planning Rationale and Position

Staff are of the professional opinion that the requested side yard setback variance is reasonable, technically justified, and consistent with the intent of the Zoning regulations. The purpose of setbacks is to mitigate land use conflicts between sensitive residential uses and more intensive civic or commercial activities. In this case, no such conflict exists.

Accordingly, staff recommend that the Board of Variance support the application to vary the side yard setback requirement of the CU-1 Zone to permit the siting of the Beach Park washroom building 0.05 metres from the eastern property line.



REV	DATE	DESCRIPTION
11	13-Aug-25	Revised for SP
10	11-Aug-25	Revised for SP (Site)
9	17-Jul-25	Issued for SP
8	25-Jun-25	Issued for Review (Final SP)
7	18-Jun-25	Issued for Any Council Coordination
6	18-Jun-25	Issued for Structural Consult
5	29-May-25	Issued for Construction/Proting
4	22-Apr-25	Issued for Presentation
3	21-Mar-25	Issued for Client Review
2	28-Feb-25	Issued for Structural Coordination
1	17-Feb-25	Issued for Review Coordination

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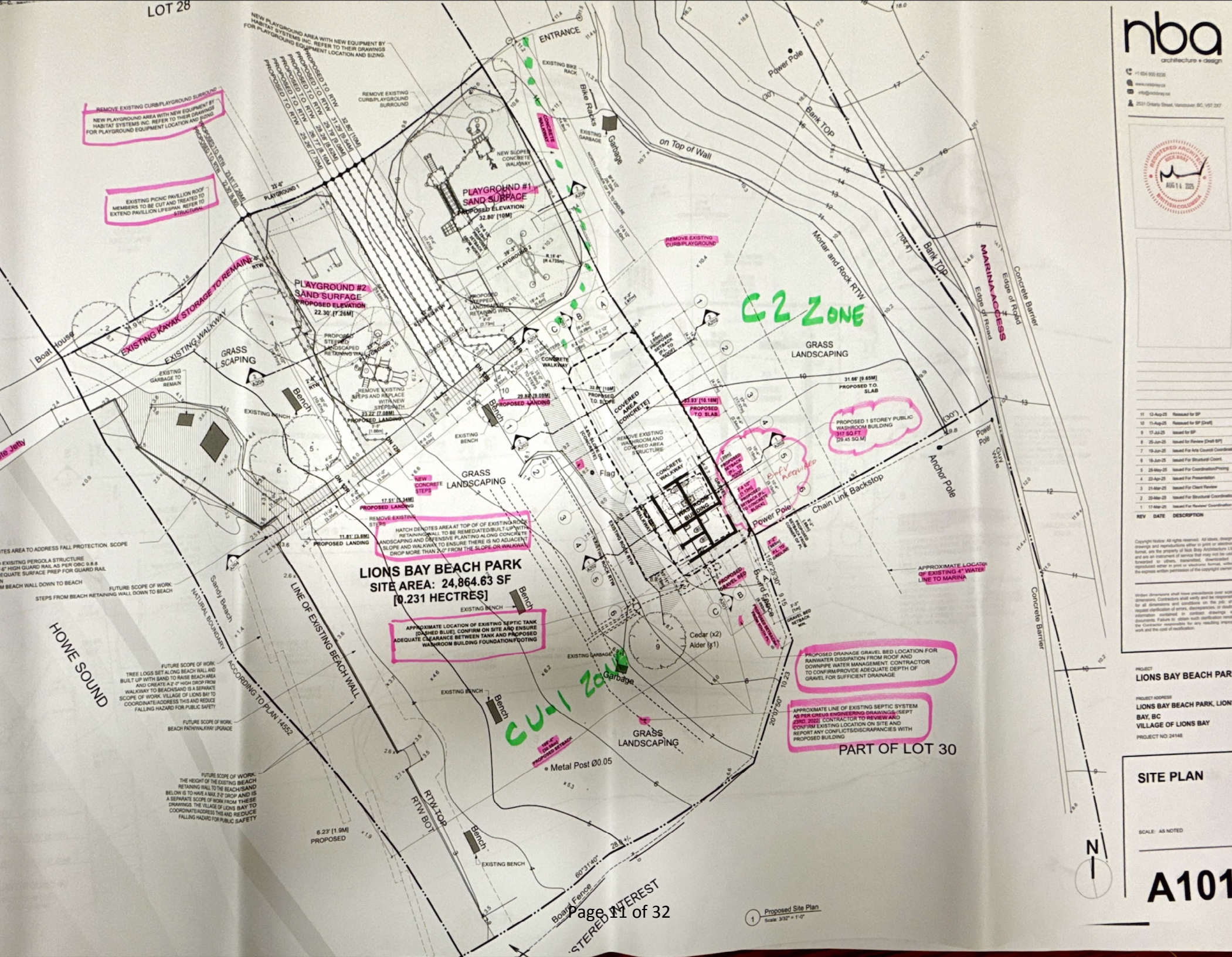
PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
 LIONS BAY BEACH PARK, LIONS
 BAY, BC
 VILLAGE OF LIONS BAY
 PROJECT NO 24148

SITE PLAN

SCALE: AS NOTED

A101



LIONS BAY BEACH PARK

60 LIONS BAY AVENUE, CENTRE RD, LIONS BAY, BC

NOT FOR CONSTRUCTION



DRAFT

10	11-Aug-25	Reissued for BP [Draft]
9	17-Jul-25	Issued for BP
8	25-Jun-25	Issued for Review [Draft BP]
7	19-Jun-25	Issued For Arts Council Coordination
6	16-Jun-25	Issued For Structural Coord.
5	28-May-25	Issued For Coordination/Pricing
4	22-Apr-25	Issued For Presentation
3	21-Mar-25	Issued For Client Review
2	20-Mar-25	Issued For Structural Coordination
1	17-Mar-25	Issued For Review/ Coordination

REV DATE DESCRIPTION

PROJECT TEAM

CLIENT
Municipality of the Village of Lions Bay
400 Centre Rd
Lions Bay, B.C. V0N 2E0
Contact: Jurgen Franke
jurg@teplus.ca

ARCHITECT
Nick Bray Architecture
2531 Ontario Street
Vancouver B.C. V5T 2X7

Contact: Nick Bray
604 900 8238

STRUCTURAL ENGINEER
Miskimin Engineering Ltd.
Suite 803, 33 West Pender St
Vancouver B.C. V6B 0E5
Contact: Paul Miskimin
604 454 7199

CONSTRUCTION MANAGEMENT
Eurohouse Construction Inc.
1514 Marine Drive
West Vancouver, B.C. V7V 1H8
Contact: Yuri Morgun
604 715 6804

SURVEYOR
Burnbury & Associates
#207 - 38026 Second Ave
Squamish, B.C. V8B 0B1

Contact:
604 892 3090

INDEX OF DRAWINGS

Sheet Number Sheet Name

A-001	COVER + PROJECT INDEX
A-002	DESIGN RATIONALE
A-003	PROJECT DATA
A-101	SITE PLAN
A-102	FLOOR PLAN
A-103	ROOF PLAN
A-104	RCP PLAN
A-201	SECTIONS
A-202	SECTIONS
A-203	WALL / COLUMN SECTIONS
A-204	STAIR / LANDSCAPING SECTIONS
A-301	NORTH AND EAST ELEVATION
A-302	SOUTH AND WEST ELEVATION
A-401	DETAILS
A-402	STAIR AND HANDRAIL DETAILS
A-403	ENLARGED WASHROOM PLAN
A-601	ASSEMBLIES AND MATERIALS

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
**LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY**
PROJECT NO: 24148

COVER SHEET

SCALE: 3/16" = 1'-0"

A001



DESIGN RATIONALE

Lions Bay Beach Park Washroom and Park Upgrade Project

Located in the scenic setting of Lions Bay Beach Park, this project involves the complete redevelopment of the existing public washroom and surrounding park amenities. The scope includes the demolition of the current washroom building, removal of existing playground equipment, and construction of a new public washroom facility integrated with a multi-use covered outdoor space. The project also encompasses upgrades to the playground area, installation of new play structures, and restoration and enhancement of the lower wood pavilion and surrounding landscaping. This initiative for the Village of Lions Bay aims to enhance the park's functionality and user experience, while responding thoughtfully to its natural surroundings. The design emphasizes durability, accessibility, and a connection to the coastal landscape.

Site Strategy and Building Placement

The new washroom building is carefully sited on the eastern edge of the park, positioned between the property line and an existing rock retaining wall. It occupies the footprint of the previous washroom building and slab, maintaining continuity with the original layout while respecting the constraints of the existing septic system. The building is aligned parallel to the eastern property line, with a 2-inch setback.

Design Concept and Materials

The design features a durable and welcoming washroom structure that includes two accessible washrooms with changing area, two standard washrooms, and a janitor/storage room. Adjacent to the enclosed facilities is a versatile covered outdoor area, unified under a refined flat roof canopy. This roof—characterized by softly rounded edges and tapered profiles—is engineered to appear visually light while being constructed from robust materials that ensure longevity and ease of maintenance. Twelve rounded steel columns support the roof, creating an open-air structure that offers clear views toward the beach and ocean to the west, and the grass landscape to the east. This openness enhances the park's natural atmosphere and supports a wide range of community uses.

The building itself is constructed from concrete block for strength and resilience, with lightweight translucent polycarbonate panels integrated into the upper portion. These panels introduce natural light into the interior spaces and make the roof appear lighter, contributing to the building's airy appearance. The concrete block walls are animated with a vibrant artistic mural by local artists, capturing the spirit and identity of Lions Bay and its coastal environment.

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9	17-Jul-25	Issued for BP
8	25-Jun-25	Issued for Review [Draft BP]
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REV DATE DESCRIPTION

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PROJECT LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

DESIGN RATIONALE AND PROJECT DATA

SCALE: AS NOTED

PROJECT DATA

Project Type:	Business and Personal Services - Public Washroom and Concession		
Authority:	Village of Lions Bay		
Building Code Reference:	BCBC 2024		
<hr/>			
Civic Address:	Lions Bay Beach Park		
Legal Address:	Of Lot 29 Of Lot 1 Block A District Lot 1575 Plan 14552		
Land Use Zoning:	Watershed / Environmental Protection		
PID:	007 759 169		
<hr/>			
Area Summary			
Washroom Building	317 SF [29.5 SM]		
Covered Area Slab	798 SF [74.1 SM]		
Total Area	1,115 SF [103.6 SM]		
Roof Area	1,447 SF [134.4 SM]		
Concrete Walkway and Slope Area	463 SF [43 SM]		
<hr/>			
Setbacks			
North	82'-0" [25M]		
East	2" [0.05M]		
South	27'-6" [8.38M]		
West	100'-4" [30.58M]		
<hr/>			
Code Reference	Part 9 - 9.10.2.5. [3.1.2.7.(1)]		
Building Area	134.43 SM [1,447 SF]		
Building Height	1 Storey 4.37M [14'-4"]		
Sprinklers	No		
Occupancy	Major	Group D (Personal Services)	
<hr/>			
Code Reference			
3.1.17. Occupant Load			
3.1.17.1.(2). > 9.9.8.2.(2).	Occupant Load Determination	30 Persons Max [3.1.2.7.(1)]	
9.9.7. Access to Exits			
9.9.7.4.	Number and Spacing of Egress Doors Group D - Max Area of Room/Suite (200 sm), Max Distance to Egress Door (25 m) Group F-3 - Max Area of Room/Suite (200 sm), Max Distance to Egress Door (15 m)	Proposed Accessible Washroom: 6.4 sm and 3.5m Travel Distance Janitor/Storage 5.16 sm and 2.79m Travel Distance	
9.10.6. Construction Types			
9.10.6.1. > 3.2.2.64	Construction Cladding	Combustible or Noncombustible Combustible or Noncombustible	
9.10.8. Fire Separation			
9.10.8.1.	Fire-Resistance Ratings for Floors and Roofs Floors Roof	45 min. [Only 1 storey proposed] N/A	
9.10.8.3.	Fire-Resistance Ratings for Walls, Columns and Arches Level 1	45 min.	
9.10.10. Service Rooms			
9.10.10.3.(2).	Fire-Resistance Ratings for Service Rooms	N/A	
9.10.10.6.(1).(a).	Fire-Resistance Ratings for Storage Rooms	45 min.	
9.10.13. Doors, Dampers and Closures in Fire Separation			
9.10.13.1.	Closures	20 min.	
9.10.13.10.	Self-Closing Devices 9.10.13.10.(1).	Every door in a fire separation shall have a self-closing device	
9.10.17. Flame-Spread Limits			
9.10.17.1.	Interior Surfaces - Wall, Ceiling, Skylights and Glazing Doors	150 max 200 max	
9.10.18. Alarm and Detection Systems			
9.10.18.2.	Fire Alarm System Required	No	



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NOT FOR CONSTRUCTION

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PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

PROJECT INFORMATION

SCALE: AS NOTED

A003

GENERAL NOTES

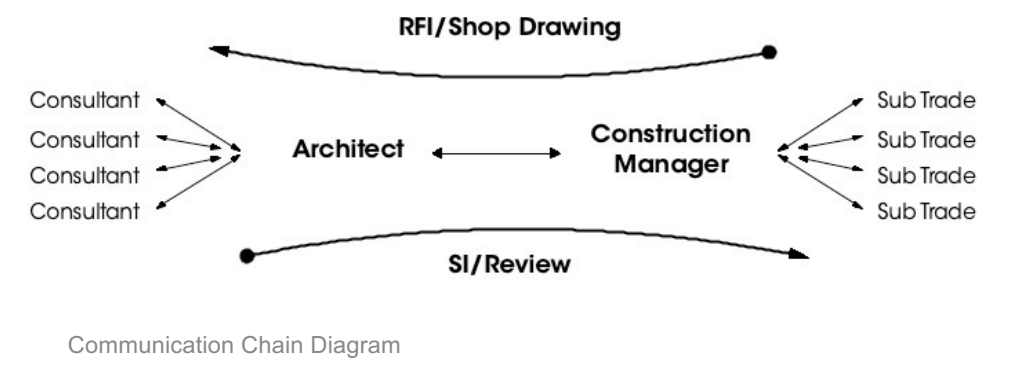
- REFER TO CURRENT EDITIONS OF THE BC BUILDING CODE, 2024 EDITION (BCBC).
- ALL WORK SHALL BE CONDUCTED IN A GOOD AND WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY BEST PRACTICES.
- PRIOR TO TENDER, THE CONTRACTOR/SUBCONTRACTOR SHALL VERIFY ACTUAL SITE CONDITIONS AND SHALL CLEARLY NOTE ANY/ALL DISCREPANCIES WITHIN THE DRAWING SET.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS (EXCEPT BUILDING PERMIT) AND SHALL MAKE ALL NECESSARY APPLICATIONS FOR SAME.
- NO WORK IS TO COMMENCE ON SITE UNTIL A COPY OF THE BUILDING PERMIT HAS BEEN OBTAINED AND POSTED IN A CLEARLY VISIBLE LOCATION ON SITE.
- EACH CONTRACTOR AND/OR SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY PROFESSIONAL ENGINEERING, SHOP DRAWINGS, LETTERS OF ASSURANCES, SCHEDULES AS RELATED TO ITS WORK.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION BY EACH CONTRACTORS/SUBCONTRACTOR. ANY/ALL DISCREPANCIES, ERRORS, OR OMISSIONS ARE TO BE REPORTED TO THE DESIGNER PRIOR TO THE INITIATION OF WORK.
- THE INITIATION OF WORK SHALL MEAN ACCEPTANCE OF ALL EXISTING CONDITIONS BY THE CONTRACTOR/SUBCONTRACTOR.
- THE CONTRACTOR/SUBCONTRACTOR SHALL AT ITS COST REPLACE, PATCH, REPAIR, PAINT, OR OTHERWISE MAKE GOOD ANY/ALL COLLATERAL DAMAGE AS A RESULT OF ITS WORK.
- THE CONTRACTOR/SUBCONTRACTOR SHALL IN ADVANCE OF WORK ISSUE A PROPOSED CONSTRUCTION SCHEDULE FOR REVIEW/APPROVAL BY THE CONSULTANT.
- SEQUENCING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION SCHEDULE AND SO AS TO ENSURE THE EFFICIENT/EXPEDITIOUS COMPLETION OF WORK.
- IT IS THE SOLE RESPONSIBILITY OF CONTRACTORS/SUBCONTRACTORS TO ENSURE ALL MATERIALS, SAMPLE SUBMITTALS, EQUIPMENT, SYSTEMS, APPLIANCES, FIXTURES, AND THE LIKE ARE ORDERED IN A TIMELY FASHION SO AS NOT TO ADVERSELY AFFECT THE APPROVED CONSTRUCTION SCHEDULE AND COMPLETION DATES.
- THE CONTRACTOR/SUBCONTRACTOR SHALL IN CONJUNCTION WITH THE GENERAL CONTRACTOR CALL FOR MAKE ARRANGEMENTS FOR ALL REQUIRED INSPECTIONS. A MINIMUM OF 3 BUSINESS DAYS NOTICE IS REQUIRED WHEN SCHEDULING SITE REVIEWS.
- ARCHITECTS AND CONSULTANTS WILL REVIEW WORK (SITE REVIEW, SHOP DRAWINGS ETC) FOR GENERAL CONFORMITY WITH CONTRACT DOCUMENTS ONLY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL CONTRACTORS / SUBCONTRACTORS.
- THE GENERAL CONTRACTOR WILL COORDINATE WITH THE WORK OF EACH CONTRACTOR / SUB-TRADE.
- THE GENERAL CONTRACTOR WILL COOPERATE FULLY WITH EACH CONSULTANT, THE CLIENT AND ALL AUTHORITIES HAVING JURISDICTION.
- ALL ELECTRICAL & PLUMBING WORK TO BE CERTIFIED BY A LICENSED TRADE.
- EACH CONTRACTOR / SUBCONTRACTOR SHALL PROVIDE TO THE GENERAL CONTRACTOR WITH COPIES OF APPROPRIATE LICENSES AND PROOF OF INSURANCE UPON REQUEST.
- EACH CONTRACTOR/SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROPER HOOK-UP CONNECTING TO AND WITH EXISTING BUILDING SYSTEMS, UTILITIES, EQUIPMENT, AND THE LIKE AND SHALL OBTAIN ALL NECESSARY PERMITS/APPROVALS AS MAY BE REQUIRED.
- THE CONSULTANT MAY DETERMINE THAT CERTAIN RFI ISSUED BY THE GENERAL CONTRACTOR ARE UNNECESSARY AND SHALL IN RESPONDING TO SUCH UNNECESSARY RFI, GIVE THE REASONS FOR THE DETERMINATION IN EACH CASE. IF THE GENERAL CONTRACTOR CONTINUES TO ISSUE UNNECESSARY RFI, THE CONSULTANT, AFTER HAVING IDENTIFIED A MINIMUM OF SIX (6) RFI AS UNNECESSARY WILL INVOICE THE CLIENT FOR ADDITIONAL ADMINISTRATIVE COST OF RESPONDING TO EACH SUBSEQUENT UNNECESSARY RFI.
- THE CONSULTANT WILL NOTIFY THE GENERAL CONTRACTOR AND CLIENT EACH TIME SUCH AN ADDITIONAL ADMINISTRATIVE COST IS CHARGED. THE CLIENT SHALL REIMBURSE THE CONSULTANT FOR THE MONTHLY TOTAL OF SUCH ADDITIONAL ADMINISTRATIVE COSTS, AND THE MONTHLY TOTAL OF SUCH ADDITIONAL ADMINISTRATIVE COSTS SHALL BE CHARGED TO THE GENERAL CONTRACTOR BY SHOWING THE MONTHLY TOTAL AS A CREDIT ON EACH SUBSEQUENT CERTIFICATE OF PAYMENT. THIS CONSTITUTES A CHARGE.
- WHERE USED IN THESE NOTES, THE TERM "GENERAL CONTRACTOR" CAN REFER TO THE CONSTRUCTION MANAGER, PROJECT MANAGER, OR ANY OTHER TITLE GIVEN TO THE PERSON OR PERSONS RESPONSIBLE FOR OVERSEEING THE CONSTRUCTION PROJECT.
- ALL STAIRS, RAMPS, GUARDS, AND HANDRAILS SHALL CONFORM TO BCBC 2024
- CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT: FOLLOW LOCAL MUNICIPAL REQUIREMENTS FOR RECYCLING AND DIVERSION OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE FROM LANDFILL. ALL DEMOLISHED MATERIALS AND FIXTURES REMOVED FROM SITE SHALL BE RECYCLED AND DOCUMENTED AS PART OF SPECIFIED LOCAL RECYCLING PROGRAMS.
- WHERE CITY REQUIREMENTS ARE LACKING OR LESS STRINGENT, A MINIMUM OF 50% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE DIVERTED FROM LANDFILL.

DRAWING NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS TO OUTSIDE EDGE OF FRAMING UNLESS OTHERWISE INDICATED.
- IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL WORK IS COMPLETED IN GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS AND IN CONFORMANCE WITH THE CLIENT'S REQUIREMENTS.
- THE GENERAL CONTRACTOR ACKNOWLEDGES THAT ANY/ALL DIRECTIVES GIVEN BY THE CONSULTANT OVER THE COURSE OF CONSTRUCTION SHALL FORM PART OF THE AGREED UPON SCOPE OF WORK PROVIDED SUCH DIRECTIVES ARE IN GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR FURTHERMORE ACKNOWLEDGES THAT THE CONSULTANT SHALL ISSUE SUPPLEMENTAL INSTRUCTIONS OVER THE PROJECT DURATION FOR CONTRACT DOCUMENT CLARIFICATION PURPOSES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL UP-TO-DATE CONTRACT DOCUMENTS AND SUPPLEMENTAL INSTRUCTIONS TO TRADES/ SUB-TRADES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE OF WORK, COORDINATION WITH TRADES, MEANS AND METHODS, SAFETY, AND SECURITY. THE CONSULTANT IS NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY THE CONTRACTOR AND ITS SUBS FROM ANY CLAIM, LOSSES OR SUITS OR LEGAL ACTION ARISING FROM THE PERFORMANCE OF WORK IN THIS PROJECT.
- CONTRACT DOCUMENTS ARE TO BE READ AND UNDERSTOOD IN THEIR ENTIRETY. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR / SUBCONTRACTOR TO CROSS REFERENCE EACH DRAWINGS, DETAIL, SPECIFICATION, AND THE LIKE REGARDLESS OF SCOPE OF WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- DRAWINGS ARE INTENDED FOR INFORMATION PURPOSES ONLY TO COMPLY WITH THE VILLAGE OF LIONS BAY APPLICATION CHECKLIST REQUIREMENTS. THIS SET MAY OR MAY NOT FULFILL ALL ASPECTS AND/OR REQUIREMENTS OF ANY APPLICABLE REQUIREMENT LIST AND SHOULD ONLY BE USED TO DEMONSTRATE A PROFESSIONAL LEVEL OF DRAFTING STANDARDS AS REQUIRED FOR THE SUBMISSION OF AN APPLICATION TO THE VILLAGE OF LIONS BAY. USE OF THESE DRAWINGS FOR DUPLICATION AND/OR SUBMISSION IN WHOLE OR IN PART IS PROHIBITED.
- UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OR ARCHITECT BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- THE CONTRACTOR AND/OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN BOTH DURING AND AFTER CONSTRUCTION.
- COMPLIANCE WITH APPLICABLE CODES, ORDINANCES AND BYLAWS GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.
- REFER TO WINDOW SHOP DRAWINGS FOR WINDOW SIZES AND INFORMATION.
- SURVEY INFORMATION (INCLUDING LEGAL DESCRIPTION, DIMENSIONS, ROADS, EASEMENTS, GRADERS, ETC) SHALL BE PROVIDED BY THE OWNER. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.

CONSTRUCTION COMMUNICATION

- THE ARCHITECT AND CONSTRUCTION MANAGER ARE TO BE INCLUDED IN ALL COMMUNICATION (PHONE CALLS, EMAILS, MEETINGS, ETC) OR ARE TO BE MADE AWARE OF ANY COMMUNICATION IMMEDIATELY.
- SUB-CONTRACTORS ARE NOT TO SPEAK WITH THE CONSULTANT TEAM (AND VICE VERSA) WITHOUT FIRST NOTIFYING THE ARCHITECT AND GENERAL CONTRACTOR.
- FOR ALL COMMUNICATION BETWEEN THE GENERAL CONTRACTOR AND CONSULTANTS, PLEASE ENSURE THE ARCHITECT IS CC'ED.
- THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR COLLECTING, FORMATTING, AND ISSUING RFIS, SHOP DRAWINGS ETC. TO THE ARCHITECT.
- THE ARCHITECT IS RESPONSIBLE FOR COORDINATING A RESPONSE FROM THE CONSULTANT TEAM AND RETURNING IT TO SITE IN THE FORM OF A SITE INSTRUCTION (SI), SHOP DRAWING REVIEW, ETC IN A TIMELY MANNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT WHEN MAJOR CONSTRUCTION MILESTONES (INSULATION, FIRESTOPPING, DRYWALL INSTALLATION ETC) ARE APPROACHING IN ORDER TO SCHEDULE REVIEWS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN PHOTOGRAPHIC DOCUMENTATION OF CONSTRUCTION PROGRESS.



SHOP DRAWINGS

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE QUANTITIES, DIMENSIONS, ACCURACY, COMPLETENESS AND COMPLIANCE WITH ANY SPECIFICATIONS OF SHOP DRAWINGS.
- A MINIMUM OF SEVEN (7) BUSINESS DAYS IS REQUIRED FOR THE REVIEW AND RETURN OF SHOP DRAWINGS TO SITE.
- SHOP DRAWING REVIEWS DO NOT RELIEVE THE GENERAL CONTRACTOR OF THE RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SHOP DRAWINGS OR OF THE RESPONSIBILITY TO MEET ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION, AND FOR COORDINATION OF THE WORK OF ALL TRADES.
- SHOP DRAWINGS ARE ONLY REVIEWED FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. ANY ACTION SHOWN IS SUBJECT TO THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR TO ENSURE SHOP DRAWINGS TO BE REVIEWED ARE PACKAGED INTO A SINGLE DOCUMENT CONTAINING ONLY THE INFORMATION TO BE REVIEWED. EXTRANEOUS OR IRRELEVANT INFORMATION IS TO BE REMOVED OR CLEARLY MARKED TO AVOID CONFUSION.
- ALL SHOP DRAWINGS ARE TO BE ISSUED TO THE ARCHITECT FOR DISTRIBUTION TO THE CONSULTANT TEAM.

Typical Submittals Required

Submittal	Format			Comments
	Shop Dwgs	Cut Sheet	Phys. Sample	
Architectural / Envelope				May require review by others
Cladding Samples			●	
Cladding Joint / Flashing Locations	●			Inc. proposed products and locations
Exterior Grilles, Vents, Dampers	●	●		
Rainwater Leader Locations	●			Provide sealed shop drawings
Railings and Guards	●			
Windows	●			Provide sealed shop dwgs, inc hardware
Storefront Systems	●			Including hardware
Exterior Doors	●			
Overhead / Specialty Doors	●			
Envelope Materials		●		Insulation, membranes, caulking etc
Roofing Products		●		Insulation, membranes, caulking etc
Sloped Insulation Layout	●			
Roof Hatch		●		
Fire Stopping and Fire Spray			●	
Bicycle Lockers		●		
Specialty Equipment	●			
Landscape Furniture and Fixtures		●	●	
Arch. Woodwork and Millwork	●			
Signs and Directories	●	●		
Structural				May require review by others
Elevator	●			
Framing Hold Downs	●			
Concrete Mix	●			
Structural Steel	●			
Exterior Canopies	●			Provide sealed shop drawings
Anchor Bolts	●			
Cast-in-Place Concrete	●			
Timber Framing	●			
Prefabricated Structural Wood	●			
Steel / Wood Joists	●			
Mechanical				May require review by others
Plumbing Equipment		●		
Plumbing Fixtures		●		Pumps, HWTs, Oil Ints, vaults, etc.
HVAC Equipment		●		Sinks, toilets, faucets, appliances, etc.
Fire Suppression (Sprinklers)	●			ERVs, fans, fan coils, heat pumps, etc.
Fire Dampers		●		
Fire Shutters		●		
Fire Department Connection		●		
Electrical				May require review by others
Electrical Equipment		●		
Lighting Controls		●		Distribution Panels, Generators, etc.
Lighting Fixtures		●		
Entry Phone / Intercom		●		
Access Control		●		Fobs, etc.
Security Systems	●			Cameras, etc.
Fire Alarm Controls		●		Control Panels, Annunciator Panels etc.
Interiors				May require review by others
Interior Doors	●			
Interior Grilles and Louvers		●		Including door hardware
Mailboxes		●		
Interior Fixtures and Finishes	●			
Arch. Woodwork and Millwork	●			
Washroom Accessories		●		
Blinds and Window Treatments		●		
Specialty Equipment	●			

PLEASE NOTE: This list is not an exhaustive description of all potential shop drawings required. Each Consultant may have their own list of required shop drawings, and additional architectural shop drawings may be required.

MOCK-UPS

- GENERAL CONTRACTOR TO PREPARE REQUIRED MOCKUPS PRIOR TO PROCEEDING WITH REMAINDER OF INSTALLATION.
- CONTRACTOR TO COORDINATE REVIEWS BY CONSULTANT TEAM AND TO PROVIDE SUFFICIENT ADVANCE NOTICE.
- WORK IS NOT TO PROCEED UNTIL RECEIPT OF APPROVAL FROM CONSULTANT TEAM.
- REVIEW FORMATS:
 - Photographs / Video Call: Used for simple items requiring only a superficial visual review. Contractor to provide detailed photographs for review and comment. Contractor to allow suitable time for review. For more immediate commentary, Contractor can coordinate a video call (ie Facetime, Zoom).
 - Spray Paint Markup: Used for coordinating locations of highly visible items such as fixtures, outlets, sprinkler heads, bulkheads etc. Contractor uses spray paint to mark out proposed locations for review.
 - On Site Mock Up: Used for more complex items that require more detailed review, often by multiple consultants such as window installations, HVAC configurations, etc.
- PLEASE SEE TABLE BELOW DESCRIBING TYPICAL ITEMS REQUIRING MOCK-UPS, AS WELL AS THE EXPECTED FORMAT AND CONSULTANTS REQUIRING INPUT. THIS LIST IS NOT EXHAUSTIVE AND ADDITIONAL MOCK-UPS MAY BE REQUIRED.

Typical Submittals Required

Mock-Up	Review Format	To be Reviewed by					
		Arch.	Env.	Struct.	Mech.	Elec.	Interiors
Envelope							
Exterior Membrane Installations	On Site	●	●				
Membranes at Penetrations	On Site	●	●				
Cladding at Penetrations	On Site	●	●				
Cladding Joints / Transitions	Photo/Video	●	●				
Thru-Wall Flashing	Photo/Video	●	●				
Balcony Membrane Installation	Photo/Video	●	●				
Balcony Curb and Railing	Photo/Video	●	●				
Drain and Scupper Installation	Photo/Video	●	●	●			
Doors and Windows							
Exterior Door Installation	On Site	●	●				
Interior Door Installation	On Site	●	●				●
Storefront Door/Window Installation	On Site	●	●				
Membrane at Doors/Windows	On Site	●	●				
Flashing Around Doors/Windows	On Site	●	●				
Cladding Around Doors/Windows	Photo/Video	●	●				
Bulkheads							
HVAC Duct Configurations	On Site	●				●	
Interior Grilles and Louvers	Spray Paint	●				●	
Sprinkler Line and Head Locations	Spray Paint	●				●	
Bulkhead Locations	Spray Paint	●				●	●
Interiors							
Typical Millwork Installation	Photo/Video						●
Outlet and Fixture Locations	Spray Paint					●	●
Project Specific Items							

PLEASE NOTE: This list is not an exhaustive description of all mockups required. Each Consultant may have their own list of required mockups, and additional mockups may be required.

CONCRETE NOTES

- SUPPLY CARBON DIOXIDE MINERALIZED CONCRETE, SUCH THAT POST-INDUSTRIAL CARBON DIOXIDE IS INJECTED INTO THE CONCRETE LIKE AN ADMIXTURE AND CHEMICALLY CONVERTED INTO A MINERAL. CONCRETE MAY UNDERGO MIX OPTIMIZATION WHEREBY THE STRENGTH ENHANCEMENT PROPERTIES OF MINERALIZED CONCRETE IS UTILIZED TO ADJUST STRENGTH AND PERFORMING REVIEW AND CONFIRMATION BY STRUCTURAL CONSULTANT.
- SEE STRUCTURAL ENGINEER'S SPEC/ DRAWINGS. CONTRACTOR TO ENSURE OWNERS BUILDING ENVELOPE CONSULTANT PROVIDES FIELD REVIEWS OF PVC AND CEMENTITIOUS JOINT DETAILS. ALLOW 72 HOUR NOTICE.
- FRAME OPENINGS IN WALLS, PARAPETS, BEAMS, FLOOR AND ROOF SLABS WHEN INDICATED ON DRAWINGS. LOCATE TEMPORARY OPENINGS IN FORMWORK FOR CLEANING AND INSPECTION ON SIDE OF FORMS WHERE CONCRETE SURFACE WILL BE CONCEALED ON COMPLETION.
- PRIOR TO CONCRETE PLACEMENT, ALL REINFORCEMENT AND INSERTS SHALL BE SECURED IN POSITION AND APPROVED BY CONSULTANT. INSERTS SUCH AS OUTLET BOXES SHALL BE TREATED AND CONSTRUCTED SO AS NOT TO ADVERSELY AFFECT ARCHITECTURAL CONCRETE.
- AREAS TO BE REPAIRED SHALL BE DETERMINED BY THE CONSULTANT, AND SHALL NOT EXCEED TWO (2) SQUARE FEET FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF SURFACE AREA AND SHALL BE WIDELY DISPERSED. REPAIRS SHALL MATCH SURROUNDING AREA.
- BEFORE COMMENCING ANY REPAIR WORK THE CONTRACTOR SHALL CONFIRM REPAIR PROCEDURES WITH THE CONSULTANT AND ESTABLISH BY TRI-MIX THE FORMULA REQUIRED. THE CONTRACTOR SHALL DEMONSTRATE THEIR REPAIR TECHNIQUES ON THE PROTOTYPE.
- CARRY OUT REPAIRS UNDER CONSULTANTS DIRECTION. CUT OUT LOOSE HONEYCOMBS AND SQUARE OFF EDGES DURING PREPARATION. SOAK AREA TO BE REPAIRED WITH WATER. PLACE A STIFF, COLOUR MATCHING MORTAR IN GROUT. STRIKE FLUSH WITH WOOD FLOAT AND TEXTURE AS REQUIRED FOR THE FINISH INDICATED.
- GENERALLY PLACE TIES SYMMETRICALLY ABOUT ANY SECTION AND FROM EACH END AND ALSO SYMMETRICALLY WITH PLYWOOD SHEETS. LOCATE FORM TIES IN A UNIFORM PATTERN AS INDICATED, WITH ONE ROW OF TIES LOCATED ABOVE AND BELOW CONSTRUCTION JOINTS, WHERE ADDITIONAL TIES ARE NEEDED BUT ARE OUT OF SEQUENCE WITH APPROVED TIE PATTERN, USE APPROVED BREAK BACK TIE WITHOUT SLEEVE OR CONE.
- CONSTRUCT FORMWORK AND FINISH CONCRETE SURFACES CONFORM TO TOLERANCE LIMITS SPECIFIED. FAILURE TO COMPLY WITH THESE LIMITS WILL RESULT IN CONTRACTOR, AT THEIR EXPENSE, FILLING AND/OR GRINDING THE SUB-STANDARD SURFACES, OR IF THE CONSULTANT DEEMS THIS IMPOSSIBLE, REMOVE CONCRETE SECTION JOINT MEETING TOLERANCES AND RECONSTRUCT AT NO EXPENSE TO THE OWNER.
- VARIATION FROM PLUMB - ANY 10 ft HEIGHT OR HEIGHT OF BEAM: 3mm (1/8 in.), MAXIMUM FOR ENTIRE HEIGHT (FLOR TO FLOOR NON-ACCUMULATING): 13mm (1/2 in.).
- VARIATION FROM LEVELS OR FROM GRADES SPECIFIED (SOFFITS OR TOP SURFACES OF SLABS, BEAMS, PARAPETS) - ANY 10 ft SLAB OR 16 ft in., ANY BAY OR 20 ft LENGTH: 6mm (1/4 in.), MAXIMUM FOR ENTIRE LENGTH: 13mm (1/2 in.)
- PRIOR TO CONCRETE PLACEMENT, ALL SLOPES AND SPOT ELEVATIONS SHALL BE CONFIRMED WITH THE ARCHITECT, STRUCTURAL AND CIVIL CONSULTANTS.
- MEP NOTES
- ALL WORK SHALL BE CONDUCTED IN A GOOD AND WORKMANLIKE MANNER CONSISTENT WITH BUILDING BEST PRACTICES.
- ALL WORK/COMPONENTS TO BE SEISMICALLY ANCHORED/RESTRAINED IN ACCORDANCE WITH THE BCBC (IN PARTICULAR SECTION 4.1.8.18) AND ANY/ALL OTHER CODES/REGULATIONS HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE ALL NECESSARY PROFESSIONAL ENGINEERING, SHOP DRAWINGS, LETTERS OF ASSURANCES, ETC. AS RELATED TO ITS RESPECTIVE WORK.
- ALL MECHANICAL ABOVE WOOD SLATS TO BE PAINTED BLACK.
- ANY NEW ON-SITE SLAB PENETRATIONS ARE SUBJECT TO REVIEW/APPROVAL BY THE ARCHITECTURAL AND STRUCTURAL CONSULTANTS. ANY/ALL ASSOCIATED FEES/COSTS INCLUDING THE COST OF REQUIRED X-RAYING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO THE INITIATION OF WORK, EACH CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT FOR REVIEW AND APPROVAL ACCURATE LAYOUT PLANS, SHOP DRAWINGS, DETAILS, SPECIFICATIONS, AND THE LIKE AT NO ADDITIONAL COST.

DOORS

- ALL DIMENSIONS ARE TO BE CONFIRMED WITH SITE CONDITIONS.
- ALL EXTERIOR DOOR ASSEMBLIES MUST MEET A "B-1" RATING.
- ALL INTERIOR DOORS SHALL CONFORM TO CAN/CSA 0132.2 AND SHALL BE CLEARLY LABELLED AS PER SECTION 9.6.5.1. OF THE BCBC.
- ALL FIRE DOORS, WINDOW ASSEMBLIES OR GLASS BLOCK USED AS A CLOSURE IN THE REQUIRED SEPARATION SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80, AND BE TESTED AND WARNOCK HERSEY OR ULC LABELLED. ALL DOOR HARDWARE USED AS PART OF A RATED ASSEMBLY SHALL BE RATED, TESTED AND INSTALLED IN CONFORMANCE WITH NFPA 80.
- ALL BATH AND SHOWER ENCLOSURES SHALL HAVE LAMINATED SAFETY GLASS.
- ALL FIRE RATED DOORS MUST MEET THE FIRE PROTECTION RATING REQUIREMENTS INACCORDANCE WITH CAN4-S104-M.
- ALL GLASS WITHIN 8" OF ANY FLOOR AND IN THE DOORS, IS TO BE TEMPERED OR LAMINATED SAFETY GLASS IN CONFORMANCE WITH THE NOTE ABOVE.
- ALL INTERIOR DOORS ARE TO BE UNDERCUT BY 1/2" ABOVE THE FLOOR.
- ALL INTERIOR DOORS SHALL HAVE A SELF CLOSING DEVICE IN CONFORMANCE WITH SECTION 3.1.8.5. OF THE BCBC AND NFPA 80.
- ALL SLIDING GLASS DOORS SHALL HAVE LAMINATED SAFETY GLASS IN CONFORMANCE WITH SECTION 9.6.5.2. OF THE BCBC.
- ALL UNIT ENTRIES AND SWINGING PATIO DOORS ARE TO HAVE DEAD BOLTS WITH A MIN. 1" THROW AS PER SECTION 9.6.8.3. OF THE BCBC.
- BLOCKING IS REQUIRED AT LOOK HEIGHT OF EXTERIOR DOORS AND FRAMES CONFORMING TO TABLE 9.6.8.9. OF THE BCBC.
- DOOR RELEASE HARDWARE MUST BE INSTALLED NOT MORE THAN 1200MM ABOVE THE FINISHED FLOOR.
- DOOR STRIKE PLATES ARE TO BE FASTENED TO FRAMES CONFORMING TO SECTION 9.6.8.6. OF THE BCBC.
- HINGES TO EXTERIOR DOORS TO HAVE NON REMOVABLE PINS AND ARE TO BE ATTACHED AS PER SECTIONS 9.6.8.5. AND 9.6.8.7. OF THE BCBC.
- TEMPERATURE RISE REQUIREMENTS FOR EXIT DOORS TO CONFORM TO TABLE 3.1.8.17. OF THE BCBC
- THE FABRICATION AND INSTALLATION OF ALL DOORS AND FRAMES SHALL COMPLY WITH THE STANDARDS SPECIFIED BY THE CANADIAN STEEL DOOR MANUFACTURERS ASSOCIATION (CSDMA) 'MANUFACTURING SPECIFICATIONS FOR STEEL DOORS AND FRAMES' AND THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC).
- WOOD DOORS ARE TO BE PERMANENTLY LABELLED TO PROVIDE THE MAKE, YEAR OF MANUFACTURING, EXTERIOR GRADE CSA 0132.2, AS PER BULLETIN 10.2(1) AND TO NFPA 80 WHERE APPLICABLE.
- CLEAR OPENINGS AT ALL DOORS SHALL COMPLY WITH MINIMUM WIDTHS AS SPECIFIED BY THE BCBC AND/OR ANY/ALL OTHER CODES/REGULATIONS HAVING JURISDICTION. MINIMUM CLEARANCE AND BACKSETS AS PER SCHEDULES TO BE CONFIRMED PRIOR TO PLACING HARDWARE ORDER.
- DOOR FABRICATOR SHALL ACCURATELY PREP ALL DOORS SLABS TO ACCEPT ALL HARDWARE NECESSARY FOR ITS OPERATION AND AS SPECIFIED.
- WOOD VENEER DOOR SLABS TO BE FABRICATED BY CUSTOM CASEWORK FABRICATOR TO ENSURE CONSISTENCY OF MATERIAL, GRAIN, AND FINISH.
- PAINTED DOORS SHALL BE SOLID CORE FACED WITH PAINT GRADE HIGH DENSITY HARDBOARD.
- WOOD VENEER DOORS SHALL BE SOLID CORE FACED WITH STAIN GRADE WOOD VENEER (SPECIES AS PER DOOR SCHEDULE).
- FOR ADDITIONAL INFORMATION, REFER TO DOOR AND WINDOW SCHEDULES.

GLASS GLAZING

- ALL DIMENSIONS ARE TO BE CONFIRMED WITH SITE CONDITIONS WITH ALLOWANCES MADE FOR THICKNESS, BITES OR OVERLAPS AND EDGE CLEARANCES.
- PERFORM GLAZING IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS, MANUFACTURER'S WRITTEN SPECIFICATIONS AND CODE REQUIREMENTS. PERMITTER CLEARANCE SHALL BE SUFFICIENT TO AVOID POINT LOADING AND PROVIDE FOR SUFFICIENT CLEARANCE OF GLASS TO METAL.
- ALL BATH AND SHOWER ENCLOSURES SHALL HAVE LAMINATED SAFETY GLASS. MIN 12mm (1/2 in.) THICK TEMPERED GLASS WITH POLISHED SQUARE PROFILE ON ALL EXPOSED EDGES AND CORNERS. COLOUR: EXTRA CLEAR
- THICKNESS OF GLASS: CONFORMING TO BCBC REQUIREMENTS ACCORDING TO MAXIMUM GLASS SIZES.
- ALL GLASS WITHIN 8" OF ANY FLOOR AND IN THE DOORS, IS TO BE TEMPERED OR LAMINATED SAFETY GLASS IN CONFORMANCE WITH THE NOTE ABOVE.
- ALL SLIDING GLASS DOORS SHALL HAVE TEMPERED SAFETY GLASS IN CONFORMANCE WITH SECTION 3.3.19. OF THE BCBC
- ALL WINDOWS TO CONFORM TO REQUIREMENTS OF SECTION 3.3.1.19., 3.2.7.5. AND 9.6.8.2. OF THE BCBC, WITH RESPECT TO SAFETY GLASS.
- GLASS GUARD RAILS: TEMPERED, LAMINATED, EXTRA CLEAR SAFETY GLASS, THICKNESS AS REQUIRED BY CODE.
- ALL GLASS REQUIRED TO BE TEMPERED OR LAMINATED SAFETY GLASS SHALL BE LABELED AS SUCH.
- ALL WINDOWS MUST MEET MINIMUM WATER AND WIND REQUIREMENTS AS SET OUT BY THE BUILDING ENVELOPE ENGINEER
- ALL WINDOWS ABOVE THE GROUND FLOOR WITH OPENING PANELS NOT ABOVE BALCONIES, TO HAVE FIXED LIGHTS TO 36" ABOVE FINISHED FLOOR. ALL WINDOW COMPONENTS AT OR BELOW THE HEIGHT OF 36" ABOVE FINISH FLOOR, TO MEET THE REQUIREMENTS FOR A GUARD RAIL AND CONFORM TO SECTION 3.3.4.8. OF THE BCBC.
- ALL WINDOWS SHALL CONFORM TO THE MOST CURRENT EDITION OF THE BCBC AND BUILDING ENVELOPE CONSULTANT (IF REQUIRED).
- ALL WINDOWS SHALL HAVE THERMALLY BROKEN FRAMES.
- ENSURE OPENINGS ARE SQUARE, PLUMB, SECURE AND PRESENT A UNIFORM FACE AND EDGE CLEARANCES.
- CONFORM TO MANUFACTURERS PRINTED DIRECTIONS AND
- GLASS AND GLAZING INSTALLATIONS SHALL BE COMPLETELY AIR AND WATERTIGHT, TAPES AND SEALANTS SHALL BE CONTINUOUS, WITHOUT GAPS OR RIDGES. STOPS SHALL BE TIGHTLY SECURED IN PLACE.
- THE FABRICATION AND INSTALLATION OF ALL DOORS AND FRAMES SHALL COMPLY WITH THE STANDARDS SPECIFIED BY THE CANADIAN STEEL DOOR MANUFACTURERS ASSOCIATION (CSDMA) 'MANUFACTURING SPECIFICATIONS FOR STEEL DOORS AND FRAMES' AND THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC).
- GLAZING CONTRACTOR TO SEAL INSULATING GLASS UNITS TO CONFORM, AS A MINIMUM, TO INSULATING GLAZING MANUFACTURERS ASSOCIATION OF CANADA (IGMAC) STANDARDS. SEALED UNITS: CONFORMING TO CAN/CSG 12.8. DUAL SEAL TYPE EDGE CONSTRUCTION TO MAINTAIN A HERMETIC SEAL. PROVIDE TEMPERED OR LAMINATED GLASS WHERE REQUIRED BY CODE.
- REMOVE MANUFACTURERS LABELS OR GRADE MARKS ON GLASS. GLASS TO BE REQUIRED BY CODE FOR SAFETY GLASS IDENTIFICATION.
- WINDOW MANUFACTURER TO PROVIDE LETTER TO ARCHITECT AND MECHANICAL ENGINEER, CONFIRMING SUPPLIED GLASS SHADING CO-EFFICIENT, U-VALUES AND FRAME MATERIAL AND DIMENSIONS FOR USE BY THE MECHANICAL ENGINEER. REGISTERED IN THE PROVINCE OF B.C. CERTIFYING THAT THE WINDOWS WILL EXCEED THE "NAFS" STANDARD. ENGINEER TO PROVIDE LETTERS OF ASSURANCE AND FIELD REVIEW OF COMPONENTS COVERED.
- WINDOWS SHALL CONFORM TO CSA-A440-M AND EVIDENCE OF CONFORMATION SHALL BE PROVIDED AT PROJECT COMPLETION.
- WINDOWS WITH A SLIDING SASH WITHIN 5M OF FINISHED GRADE ARE TO HAVE A LOCKING MECHANISM CONFORMING WITH SECTION 3.3. OF BCBC.
- MAINTENANCE DATA: SUBMIT MAINTENANCE BROCHURES ON CARE AND CLEANING OF GLASS AND GLAZING MATERIALS FOR INCORPORATION INTO MAINTENANCE MANUALS.
- QUALITY CONTROL: PROVIDE UNITS BY SINGLE MANUFACTURER AND OF SAME COLOR REDUCTION BETWEEN GLASS UNITS.
- PROVIDE A MINIMUM OF FIVE (5) YEAR GUARANTEE TO INCLUDE COVERAGE FOR SEALED GLASS UNITS FROM SEAL FAILURE, INTERPANE DUSTING OR MISTING, AND REPAIRS TO GLAZING. PROVIDE A MINIMUM OF FIVE (5) YEAR GUARANTEE AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR THE PERIOD INDICATED COMMENCING FROM THE DATE OF SUBSTANTIAL PERFORMANCE GUARANTEE TO COVER FULL REPLACEMENT INCLUDING STOPS, TRIM, CLIPS, CAULKING, SEALANTS, AT NO COST TO OWNER.
- FOR ADDITIONAL INFORMATION, REFER TO WINDOW SCHEDULES.

INTERIOR WALLS

- REFER TO CURRENT EDITIONS OF THE FOLLOWING STANDARDS:
 - ASTM C1396/C1396M Standard Specification for Gypsum Wallboard
 - ASTM C117-13 Standard Test Method for Materials Finer than 75-µmum (No. 200) Sieve in Mineral Aggregates by Washing.
 - ASTM C475/C475M-15 Standard Specification for Joint Compound and Joint Tape for Finishing Gypsum Board
 - ASTM C840-13 Standard Specification for Application and Finishing of Gypsum Board.
 - ASTM C1288-14 Standard Specification for Discrete Non-Asbestos Fiber-Cement Interior Substrate Sheets.
 - ASTM C1325-14 Standard Specification for Non-Asbestos Fiber-Mat Reinforced Cementitious Backer Units.
 - ASTM C1396/C1396M-14a Standard Specification for Gypsum Board.
 - ASTM D1037-12 Standard Test Methods for Evaluating Properties of Wood-Base Fiber and Particle Panel Materials.
 - ASTM E283-04 (2012) Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen.
 - ASTM E331-00 (2009) Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference.
 - ASTM E497-99 (Withdrawn) Standard Practice for Installing Sound-Isolating Lightweight Partitions.
 - P. B.C. Wall and Ceiling Association Specification Standards Manual, 2012 (Fifth Edition).
 - CAN/CSA A82.27-M91 [Withdrawn] Gypsum Board Products
 - BC BUILDING CODE, 2024 EDITION (BCBC).
- ALL FURRING/DRYWALL WORK SHALL BE CONDUCTED IN A GOOD AND WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS.
- ALL INTERIOR GLAZING TO BE TOUGHENED/ TEMPERED SAFETY GLASS.
- ALL JOINTS BETWEEN MATERIALS WITHIN WALLS TO BE SEALED TO MINIMIZE SOUND TRANSMISSION ACROSS/THROUGH WALL ASSEMBLIES.
- PARTITIONS TO BE CONTINUOUS TO UNDERSIDE OF SLAB WHERE SPECIFIED.
- ALL OTHER PARTITIONS TO TERMINATE BELOW SLAB WITH CONTINUOUS 2" RIGID SOUND INSULATION EXTENDING FROM TOP OF PARTITION TO UNDERSIDE OF SLAB UNLESS OTHERWISE SPECIFIED.
- RIGID INSULATION ABOVE NONCONTINUOUS PARTITIONS TO BE ACOUSTICALLY SEALED TO THE PARTITION, THE SLAB ABOVE AND ANY/ALL ADJACENT SURFACES TO ENSURE CONTINUITY OF ACOUSTIC SEPARATION BETWEEN SPACES.
- PARTITIONS TO BE ISOLATED FROM TOP AND BOTTOM CONCRETE SLABS WITH WITH 6 MM THICK NEOPRENE TAPE AND/OR OTHERWISE ACOUSTICALLY SEALED AT ALL PERIMETERS.
- PROVIDE CONCEALED ACOUSTIC SEALANT WHERE PARTITIONS MEET ADJACENT SURFACES
- STAIRWAY GLASS TO BE INSTALLED INTO CUSTOM STEEL PROFILES WITH CONTINUOUS NEOPRENE GASKET
- ALL INTERIOR GLAZING TO BE TOUGHENED /TEMPERED SAFETY GLASS
- ALL JOINTS BETWEEN MATERIALS WITHIN PARTITIONS TO BE SEALED TO MINIMIZE SOUND TRANSMISSION ACROSS/THROUGH PARTITION ASSEMBLIES
- BACK TO BACK POWER AND TELECOMMUNICATION OUTLETS ARE NOT PERMITTED. THEY SHOULD BE ISOLATED SO AS TO MINIMIZE SOUND TRANSMISSION TO ADJACENT SPACES.
- ALL PENETRATIONS THROUGH CONCRETE SLABS TO BE SEALED IN ACCORDANCE WITH BCBC SECTION 3.1.9.1
- ALL WORK/COMPONENTS IN ACCORDANCE WITH THE BCBC. (IN PARTICULAR SECTION 4.1.8.18) AND ANY/ALL OTHER CODES/REGULATIONS HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR/SUBCONTRACTOR TO PROVIDE ALL NECESSARY PROFESSIONAL ENGINEERING, SHOP DRAWINGS, LETTERS OF ASSURANCES, ETC. AS RELATED TO ITS WORK.
- FOR TOP OF BOTTOM OF SLAB PENETRATIONS FOR THE PURPOSE OF SECUREMENT (DRILLED, RAMSET, AND/OR THE LIKE): SEE STRUCTURAL SPEC/ DRAWINGS TO AVOID COMPROMISING REBAR.
- ANY/ALL PROPOSED NEW SLAB PENETRATIONS ARE SUBJECT TO REVIEW/APPROVAL BY

ARCHITECTURAL CONCRETE

- SAND BLAST FINISHES/ABRASIVELY BLASTED FINISHES
 - SF1 (BRUSH): REMOVES SURFACE DIRT AND STAINS TO GIVE SURFACE A UNIFORM APPEARANCE
 - SF2 (LIGHT): EXPOSES SOME OF FINE AGGREGATE AS WELL AS REMOVING SURFACE DIRT AND STAINS. DEPTH OF CUT SHALL NOT EXCEED 1.5mm (1/16 in.)
 - SF3 (MEDIUM): EXPOSES TOP FACES OF THE COARSE AGGREGATE FACES NEAR SURFACE. DEPTH OF CUT SHALL NOT EXCEED 3mm (1/8 in.)
 - SF4 (HEAVY): EXPOSES MORE OF COARSE AGGREGATE PARTICLES NEAR SURFACE. DEPTH OF CUT SHALL NOT EXCEED 10mm (3/8 in.)
- FORMWORK DESIGN (GENERAL): FOLLOW STANDARDS OF APPEARANCE AS INDICATED BY DETAIL DRAWINGS OF TYPICAL ELEMENTS, SHOWING SYSTEMATICALLY PLACED THE LOCATIONS, FORM JOINT LOCATIONS, RUSTICATION STRIP
- FORMWORK DESIGN (LIQUID HEAD): LIQUID HEAD CONCRETE FORMING AND PLACING TECHNIQUES UTILIZING COIL TIE TIES AND INCREASE STRENGTH FORMWORK SUPPORT SYSTEMS ARE A REQUIREMENT OF THIS SECTION IN ORDER TO ACHIEVE DESIRED APPEARANCE OF ARCHITECTURAL CONCRETE, FOR ELEMENTS OF THE STRUCTURE AS DESIGNATED.
- FORMWORK DESIGN (ARCHITECTURAL REQUIREMENTS): ARCHITECTURAL CONCRETE FORMWORK PATTERNS ARE TO BE CONFIRMED WITH ARCHITECT PRIOR TO ERECTION.
- FORM TIES SHALL NOT BE EXPOSED.
- FOLLOW STANDARDS OF APPEARANCE AS INDICATED BY ARCHITECTURAL CONCRETE FORMWORK PATTERNS ON DRAWINGS SHOWING THE LOCATIONS, RUSTICATION STRIPS & SPECIAL FORMWORK
- FORM TIES SHALL NOT BE EXPOSED.
- SHOP DRAWINGS TO BE SUBMITTED SHOWING THE LOCATIONS, RUSTICATION STRIPS, SPECIAL FORMWORK AND SHORING LOCATIONS.
- SAMPLES: SUBMIT TIES & CONES, RUSTICATION STRIP, CONE HOLE PLUGS, CHAIRS & SPACERS, FORM RELEASE AGENT, GASKETS, SEALING MATERIAL & JOINT FORMING SYSTEM.
- PRE-INSTALLATION MEETING CONDUCTED ON SITE WITH THE INSTALLER AND CONSULTANT TO EXAMINE REVIEWED SHOP DRAWINGS TO ENSURE LAYOUTS ARE AS INTENDED AND REVIEW SITE CONDITIONS.
- MOCK-UP: PRIOR TO PLACING ARCHITECTURAL CONCRETE IN ACCORDANCE WITH CSA A23.1 SECTION 27, CONSULTANT WILL EXAMINE APPEARANCE OF ARCHITECTURAL CONCRETE INCLUDING SURFACE FINISH DETAILS, TIE HOLES, JOINTING, ASSEMBLY REVEALS AND ALIGNMENT ARCHITECTURAL ELEMENTS.
- MOCK-UP LOCATED ON BASEMENT WALL THEN COVERED UP INSULATION ASSEMBLY BUILD. LOCATION TO BE APPROVED BY CONSULTANT FOLLOWING CONTRACTOR SUGGESTIONS.
- PLYWOOD FORMPLY, STANDARD 17.5MM (11/16 in.) OR 19MM (3/4 in.) THICK, SANDED, FIR PLYWOOD, RESIN SEALED AND URETHANE COATED FACE, BACK AND EDGES SEALED INCLUDING CUT EDGES. MECHANICALLY SCREW FIXED TO PREVENT IMPROPER CURING.
- EXPOSED CONCRETE: HIGH DENSITY OVERLAY (HDO) PLYWOOD: 16mm (5/8 in.) OR 19mm (3/4 in.) FIR PLYWOOD WITH PHENOLIC RESIN IMPREGNATED CELLULOSE FIBRE SHEET BONDED ON FACE, BACK AND ALL EDGES SEALED. PRODUCT: CREZON HDO PLYWOOD OR APPROVED EQUAL
- EXPOSED COLUMN FORMS: RECTANGULAR LONGEST DIMENSION 1200mm (4ft.) OR UNDER. FORMS FOR RECTANGULAR COLUMNS SHALL HAVE NO INTERIOR TIES AND SHALL BE STEEL FORMS WITHOUT DAMAGE OR FLAWS AT START OF EACH POUR, NEW OR AS NEW AT START OF WORK. FORMWORK SELECTED MUST BE USED FOR ALL RECTANGULAR COLUMNS. COLUMNS WITH A DIMENSION GREATER THAN 1200mm (4 ft.) SHALL BE FORMED AS FOR WALLS.
- EXPOSED BEAMS: HIGH DENSITY OVERLAY (HDO) PLYWOOD WITH NO TIES USED ON EXPOSED PORTIONS OF BEAMS.
- EXPOSED INTERNAL CONCRETE WALL: 2x6 DOUG FIR PLANKS STAGGERED AND MECHANICALLY SCREW FIXED TO PREVENT CREEP. FORMING FACE OF PLANKS TO BE SANDBLASTED TO ACCENTUATE GRAIN.
- FORM TIES: SEE STRUCTURAL: 6mm (1/4 in.) SNAP TIES, EQUIPPED WITH 32 mm (1-1/4 in.) FACE DIAMETER CONES WHICH PROVIDE A ONE AND ONE HALF (1-1/2 in.) BREAK BACK. SEE DRAWINGS FOR LOCATIONS AND PATTERNS OF CONES.
- COIL TIES: SEE STRUCTURAL: 13mm (1/2 in.) COIL TIES, EQUIPPED WITH 32mm (1-1/4 in.) FACE DIAMETER CONES WHICH WHEN REMOVED PROVIDE A 36mm (1-1/2 in.) RECESS TO RECEIVE SNAP PLUGS. SEE DRAWINGS FOR LOCATIONS AND PATTERNS OF TIE AND CONES. BURKE, DAYTON, SLOPER OR APPROVED EQUIVALENT
- FORM TIES FOR EXTRA SUPPORT AREAS: SHALL BE 10mm (3/8in.) DIAMETER SHE BOLTS COMPLETE WITH CONES WITH 32mm (1-1/4 in.) FACE DIAMETER. SEE DRAWINGS FOR LOCATIONS AND PATTERNS.
- FORM GASKETS: 3mm (1/8 in.) OR AS REQUIRED TO SUIT CONDITIONS. ADHESIVE BACKED FOAM TAPE, BURKE OR APPROVED ALTERNATIVE (FOR CONNECTION OF GANGFORM COMPONENTS SUCH AS BEAM SIDE TO BEAM SIDE JOINTS BETWEEN GANGFORM UNITS WITH NON-ABSORPTIVE FOAM TAPE OR OTHER APPROVED MEANS AND BETWEEN INDIVIDUAL PLYWOOD PANELS WITH SPECIFIED BACKING ROD SET PRE-GROOVED PANEL EDGES.
- USE FORM GASKETS AT LOOSE JOINTS WHERE TOLERANCES OF ADJACENT PANEL MEMBERS ARE SUCH THAT LEAKAGE CANNOT BE AVOIDED. USE FOAM TAPE FORM GASKETS AT LOCATIONS OF BUTTING PLYWOOD USE FOAMED BACKING ROD, LOCATIONS OF ABUTTING GANGFORM USE FOAM TAPE THICKNESS TO SUIT, JUNCTIONS BETWEEN FORMS SUCH AS BEAM SIDES TO SOFFITS USE FOAM TAPE THICKNESS TO SUIT.
- FABRICATE FORMS TIGHT TO PREVENT LOSS OF MORTAR. CORNER CHAMFER STRIPS ARE NOT ALLOWED MAKING MANDATORY ESPECIALLY TIGHT WELL DESIGNED CORNERS OF THE FORMS. PROVIDE ANCHORS AND BLOCKING BEHIND PLYWOOD BUTT JOINTS NOT BACKED.
- BACKER ROD: 10mm (3/8 in.) DIAMETER POLYETHYLENE OR URETHANE FOAM, RODFOAM OR APPROVED ALTERNATIVE FOR INSERTION INTO PRE-GROOVED FORM PANEL EDGES TO PREVENT LEAKAGE BETWEEN INDIVIDUAL PLYWOOD FORMING COMPONENTS.
- TIE HOLE PLUGS: PLUGS SHALL BE CONCRETE, FLAT COLOUR MATCHED CONCRETE TO BE INSTALLED 6mm (1/4 in.) RECESSED WITH CONCRETE SURFACE. EXPOXY ADHESIVE AS RECOMMENDED FOR USE BY CONCRETE PLUG MANUFACTURER.
- FORM RELEASE AGENT: CHEMICAL NON-STAINING RELEASE AGENT WHICH WILL NOT AFFECT ARCHITECTURAL CONCRETE SURFACE. USE RELEASE AGENT IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. BURKE RELEASE, NOXCRETE OR APPROVED ALTERNATIVE. FORM RELEASE AGENT TO BE APPLIED TO ALL SURFACES IN CONTACT WITH FINISH FACE OF ARCHITECTURAL CONCRETE. APPLY MINIMUM TWO FULL COATS OF APPROVED COATINGS AND ALLOW TO COMPLETELY DRY BEFORE PLACING CONCRETE.
- FORM SEALER: FORMFILM BY W.R. GACE COMPANY, OR APPROVED EQUIVALENT
- CHAMFER AND SPACERS: SOLID CONCRETE, SPECIAL MADE AND COLOUR MATCHED TO ARCHITECTURAL CONCRETE.
- FLASHING CAST INTO CONCRETE; MANUFACTURED FROM 0.050 PRE-FINISHED ALUMINUM AS MANUFACTURED BY GRC COLUMBIA, VANCOUVER, BC OR APPROVED ALTERNATIVE.
- CURING COMPOUND: CLEAR RESIN BASED CURING COMPOUND BURKE RES-X OR APPROVED ALTERNATIVE.
- SANDBLASTING SAND: TO BE "TARGET" INDUSTRIAL FINE SAND OR APPROVED ALTERNATIVE.
- CONCRETE SEALER: CLEAR HIGH-BUILD ACRYLIC LATEX FLAT SHEEN FINISH IN ACCORDANCE WITH MPI (MASTER PAINTERS INSTITUTE) - MPI ARCHITECTURAL SPECIFICATION MANUAL (LATEST EDITION). CONCRETE SEALER TO BE APPROVED BY CONSULTANT ON MOCK-UP PRIOR TO APPLICATION.
- SACKING AND PATCHING COMPOUND: SINE COMPONENT SACKING MIX AND TOPPING COMPOUND CONSISTING OF PORTLAND CEMENT AND GRADED WASHED SILICA AGGREGATES WITH POLYMER MODIFICATION PRODUCT: SACK & PATCH BY RABCO INC.
- FORM MATERIALS: BONDING AGENT SHALL BE DURAWE-D-C OR APPROVED ALTERNATIVE. CEMENT TYPES AND AGGREGATES TO BE DETERMINED BY JOB SITE MIX. OTHER MATERIALS PROPOSED FOR USE WILL BE CONSIDERED BASED ON SUCCESSFUL PERFORMANCE ON PROTOTYPE MOCK-UP.
- FORMWORK DESIGNED BY A WORKSAFE B.C. APPROVED ENGINEER TO W.C.B STANDARDS. SUBMIT PROOF UPON REQUEST.
- ARCHITECTURAL CONCRETE FORMS: TO BE BUILT OF SUCH MATERIALS AND IN A MANNER THAT THEY ARE COMPLETELY RIGID AND STRONG ENOUGH TO WITHSTAND WITHOUT DEFLECTION, MOVEMENT OR LEAKAGE. THE HIGH HYDRAULIC PRESSURES WHICH RESULT FROM RAPID FILLING AND HEAVY FREQUENCY VIBRATION. ALL MATERIALS TO BE NEW AT START OF WORK.
- CAMBER FORMWORK TO COMPENSATE FOR CONSTRUCTION DEFLECTIONS PLUS DEADLOAD DEFLECTIONS. THE CONTRACTOR SHALL CONFER WITH THE CONSULTANT TO DETERMINE THE CORRECT AMOUNT.
- SNAP TIES WILL BE PERMITTED ON FORMING OF STRUCTURAL ELEMENTS NOT EXCEEDING 1200mm (4ft.) IN HEIGHT. USE COIL TIES ON FORMING SYSTEMS EXCEEDING 1200mm (4ft.) IN HEIGHT. SPECIALLY DESIGN FORMWORK TO WITHSTAND INCREASED PRESSURES OF LIQUID HEAD PLACING TECHNIQUES UTILIZED WITH COIL TIES.

ARCHITECTURAL CONCRETE (CONT.)

- ENSURE CONSULTANT HAS APPROVED LOCATION OF JOINTS AND LOCATION AND SHAPE OF BATTERED JOINTS TO BE USED IN EACH TYPE OF JOINT. ENSURE MOCK-UP HAS BEEN APPROVED.
- PERFORM SANDBLASTING NO SOONER THAN TWENTY-ONE (21) DAYS AFTER CASTING. CARRY OUT SANDBLASTING PRIOR TO INSTALLING DUCTWORK (MECHANICAL & ELECTRICAL).
- NOZZLE: VENTURI TYPE, EITHER TUNGSTEN CARBIDE OR NORBIDE. 10mm (3/8 in.) OR 11mm (7/16 in.) DIAMETER. ABRASIVE USED SHALL NOT ADVERSELY AFFECT COLOUR OF FINISHED WORK. PROTECT CONCRETE SURFACES TO RECEIVE WATERPROOFING MEMBRANE FROM SANDBLASTING.
- MASK AND PROPERLY PROTECT ALL INSERTS AND OTHER ITEMS, AS REQUIRED FROM ABRASIVE BLASTING.
- ARCHITECTURAL CONCRETE REQUIRING REPAIR IN EXCESS OF ABOVE STANDARD IS SUBJECT TO REJECTIONS BY THE CONSULTANT AND SUBSEQUENTLY REMOVAL AND REPLACEMENT WITH NEW WORK AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO SANDBLASTING INSTALL CONCRETE PLUGS IN EXTERIOR AND INTERIOR EXPOSED SURFACES. CONCRETE PLUGS TO BE INSTALLED ON CONCRETE SURFACE IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

ARCHITECTURAL WOODWORK/CASEWORK NOTES

- ARCHITECTURAL WOODWORK/CASEWORK INCLUDES ALL CUSTOM (NON SYSTEMS) CASEWORK, WOOD VENEER WALL PANELS, TIMBER WALL SCREENS, CLOSET LINERS, INCLUDING CASEWORK, PANELING, DOORS, AND TRIM FACTORY FINISHED AT SAME TIME IN SAME FACILITY.
- ALL WORK SHALL BE CONDUCTED IN A GOOD AN WORKMANLIKE MANNER AND SHALL MEET OR EXCEED THE MINIMUM STANDARDS SPECIFIED BY THE ARCHITECTURAL WOODWORK MANUFACTURER'S ASSOCIATION OF CANADA (AWMAC) AND THE ARCHITECTURAL WOODWORK INSTITUTE (AWI), AS SPECIFIED IN THE ARCHITECTURAL WOODWORK QUALITY STANDARDS ILLUSTRATED (QSI), AND ANY/ALL OTHER STANDARDS CONSISTENT WITH INDUSTRY BEST PRACTICES.
- ALL MILLWORK FABRICATION/INSTALLATION IN ACCORDANCE WITH THE MOST RECENT SPECIFICATIONS OF THE ARCHITECTURAL WOODWORK STANDARDS (AWS), CURRENT EDITION AT TIME OF TENDER, PUBLISHED JOINTLY BY THE ARCHITECTURAL WOODWORK MANUFACTURER ASSOCIATION OF CANADA (AWMAC), THE ARCHITECTURAL WOODWORK INSTITUTE AND THE WOODWORK INSTITUTE, 'PREMIUM' GRADE UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS.
- PRIOR TO THE INITIATION OF WORK, ANY/ALL CONFLICTS BETWEEN THE ABOVE NOTED STANDARDS/SPECIFICATIONS AND THE DESIGNERS PLANS/SPECIFICATIONS SHALL BE IDENTIFIED BY THE FABRICATOR. THE FABRICATOR WILL PROCEED WITH ITS WORK ONLY AFTER RECEIPT OF WRITTEN CONFIRMATION OF CLARIFICATION BY THE DESIGNER.
- WHEREVER POSSIBLE ARCHITECTURAL WOODWORK/CASEWORK IS TO BE PRE-MANUFACTURED AND PRE-FINISHED OFF-SITE PRIOR TO INSTALLATION, IS TO BE FREE WITH STANDING WITH MINIMAL FINISHING AS REQUIRED BY ALL CODES/AUTHORITIES HAVING JURISDICTION
- PRIOR TO THE INITIATION OF WORK THE FABRICATOR SHALL REVIEW PROPOSED BACKING/METHODS OF ATTACHMENT AS PER SPECIFIED IN THE DESIGNERS DRAWINGS AND SHALL VERIFY ADEQUACY OF SAME CONSISTENT WITH ALL CODES/AUTHORITIES HAVING JURISDICTION
- PRIOR TO THE INITIATION OF WORK, EACH CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT FOR REVIEW AND APPROVAL ACCURATE, COMPREHENSIVE, AND FULLY DIMENSIONED SHOP DRAWINGS C/W SCALED PLANS, ELEVATIONS, SECTIONS, DETAILS, SPECIFICATIONS, FINISH MATERIALS, SERVICES, CONNECTIONS, ATTACHMENTS, HARDWARE, ETC
- THE FABRICATOR SHALL COMPLETE ITS WORK IN ACCORDANCE WITH SHOP DRAWINGS REVIEWED AND APPROVED BY BOTH THE CONSTRUCTION MANAGER AND THE DESIGNER.
- THE FABRICATOR SHALL SUBMIT FOR REVIEW/APPROVAL BY THE CLIENT/DESIGNER SETS OF SAMPLES AS NECESSARY. EACH SAMPLE WITHIN SETS OF SAMPLES TO BE MINIMUM 300 mm x 300 mm (12 x 12 in.) AND TO ACCURATELY REPRESENT THE FULL RANGE OF SPECIFIED MATERIALS, COLOURS, GRAINS, AND FINISHES AND ANTICIPATED VARIANCES IN SUCH MATERIALS.
- ALL ARCHITECTURAL WOODWORK/CASEWORK SHALL MATCH THE APPROVED SET OF SAMPLES "CONTROL" SAMPLES".
- THE CONTRACTOR/SUBCONTRACTOR ACKNOWLEDGES THAT THE SPECIFIED SPECIES/GRAIN/SURFACE FINISHES OF ALL WOOD VENEER/FINISH MATERIAL IS NOT FINAL AND MAY BE SUBSTITUTED AT THE DISCRETION OF THE DESIGNER/CLIENT. THE CONTRACTOR/SUBCONTRACTOR FURTHERMORE AGREES TO PROVIDE (AT NO ADDITIONAL COST AND AT THE REQUEST OF THE DESIGNER) FINISHED CONTROL SAMPLES AS NECESSARY FOR REVIEW/APPROVAL BY THE CLIENT/DESIGNER.
- REFER TO PLANS/SCHEDULES FOR CASEWORK/WOODWORK EXTERIOR FINISHES
- WOOD VENEERS ARE TO BE FROM A SINGLE FLUTCH.
- COMPONENTS INCLUDING CASEWORK, PANELING, DOORS, AND TRIM FACTORY FINISHED AT SAME TIME IN SAME FACILITY.
- ALL EXPOSED MILLWORK FABRICATION/INSTALLATION TO BE "PREMIUM" GRADE FREE FROM KNOTS UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS.
- WOOD MATERIALS TO BE FORMALDEHYDE FREE MDF OR AGRIFIBER. ALL MATERIALS, ADHESIVES, FINISHES TO BE LOW VOC.
- ALL PENETRATIONS THROUGH CONCRETE SLABS TO BE SEALED.
- ALL WORK/COMPONENTS TO BE SEISMICALLY ANCHORED/RESTRAINED IN ACCORDANCE WITH V.B.B.L. (IN PARTICULAR SECTION 4.1.8.1b.) AND ANY/ALL OTHER CODES/REGULATIONS HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR/SUBCONTRACTOR TO PROVIDE ALL NECESSARY PROFESSIONAL ENGINEERING, SHOP DRAWINGS, LETTERS OF ASSURANCES, ETC. AS RELATED TO ITS WORK.
- UPON THE COMPLETION WORK, EACH CONTRACTOR/SUBCONTRACTOR SHALL PREPARE FOR AND ISSUE TO THE OWNER A COMPREHENSIVE MANUAL (MINIMUM TWO COPIES) WHICH INCLUDES: OPERATIONAL INSTRUCTIONS, SERVICING/MAINTENANCE REQUIREMENTS/SCHEDULES/PROTOCOLS, WARRANTIES/GUARANTEES, FINISH SPECIFICATIONS, AND ANY/ALL OTHER INFORMATION AS MAY BE NECESSARY FOR THE REGULAR OPERATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF SYSTEMS AND EQUIPMENT RELATED TO ITS WORK.
- UPON COMPLETION OF WORK, EACH CONTRACTOR/SUBCONTRACTOR SHALL ACCURATELY REDLINE DRAWINGS AND/OR OTHERWISE PREPARE AN ACCURATE RECORD SET OF ITS WORK CLEARLY NOTING ANY/ALL CHANGES TO DEVIATIONS FROM ISSUED CONSTRUCTION DOCUMENTS.
- NO WORK SHALL BE PERMANENTLY AFFIXED TO OR OTHERWISE PENETRATE ANY COMPONENT OF THE EXTERIOR GLAZING SYSTEM.
- NO WORK SHALL BE AFFIXED TO OR OTHERWISE PENETRATE MECHANICAL DUCTWORK/EQUIPMENT, PLUMBING/ELECTRICAL/SPRINKLER SYSTEMS/COMPONENTS AND/OR THE EXPOSED FACE OF SUSPENDED CEILING ELEMENTS.
- IF THE CONTRACTOR'S/SUBCONTRACTOR'S SOLE RESPONSIBILITY TO CONFIRM SIZES OF ALL SUPPLIED/SPECIFIED COMPONENTS/EQUIPMENT/APPLIANCES/SYSTEMS/ETC AND TO ACCURATELY AND EFFECTIVELY INCORPORATE SAME INTO ITS WORK CONSISTENT WITH THE DESIGNER'S INTENT.
- IT IS THE CONTRACTOR'S/SUBCONTRACTOR'S SOLE RESPONSIBILITY TO CONFIRM ALL AS-BUILT CONDITIONS AND TO ENSURE THAT SUCH CONDITIONS/DIMENSIONS ARE INCORPORATED INTO ITS WORK CONSISTENT WITH THE DESIGNER'S INTENT.
- SWING DOOR HINGES TO BE BLUM CLIP TOP BLUMOTION WITH BUILT-IN SOFT CLOSE (110 DEGREE) UNLESS OTHERWISE SPECIFIED.
- DRAWER GLIDES TO BE MOVENTO W/ TIP-ON BLUMOTION SOFT CLOSE.
- DRAWER GLIDES TO BE OVER-EXTENDING WHERE FILE DRAWER BOX HANGING SYSTEMS DO NOT CLEAR CABINET FACE. FULL EXTENSION GUIDES AT ALL OTHER LOCATIONS. GUIDES TO MEET REQUIREMENTS FOR TYPE AND SIZE OF LOAD.
- LIFT-UP DOORS TO BE EQUIPPED WITH BLUM AVENTOS HL UNLESS OTHERWISE SPECIFIED.
- ADJUSTABLE SHELVES TO BE SUPPORTED WITH 1/4" DIAMETER NICKEL PLATED SLEEVES AND PINS UNLESS OTHERWISE NOTED IN SPECIFICATIONS
- SLEEVES AND PINS TO ACCOMMODATE ADJUSTABLE SHELVES TO START/STOP AT 1" ABOVE/BELOW FIXED SHELF FLOORS/SOFFITS AND FINISH SPACED AT 1 1/2"
- MILLWORK SHALL BE INSTALLED ONLY WHEN PROJECT IS READY FOR INSTALLATION, A CLEAN STORAGE AREA IS PROVIDED, PLASTER AND CONCRETE WORK DRY AND AREA BROOM CLEAN, AND AN INDOOR TEMPERATURE AND HUMIDITY WITHIN RANGE RECOMMENDED BY THE AWS FOR LOCATION OF PROJECT IS MAINTAINED
- THE MILLWORK FABRICATOR SHALL COORDINATE ITS WORK FULLY WITH THAT OF ANY OTHER FABRICATOR, TRADE, OR SUPPLIER AS MAY BE NECESSARY OR REQUESTED BY THE FABRICATOR TO CONFIRM SIZE AND LOCATION OF MECHANICAL, ELECTRICAL, PLUMBING, HVAC AND OTHER BUILDING COMPONENTS, AFFECTING ITS WORK AND ACCOMMODATE ALL SUCH COMPONENTS AS NECESSARY TO ACHIEVE THE DESIGN INTENT.

ARCHITECTURAL WOODWORK/CASEWORK NOTES (CONT.)

- ALL MATERIALS AND ADHESIVES USED IN THE FABRICATION OF MILLWORK SHALL MEET THE REQUIREMENTS OF AWS AND SHALL BE APPROPRIATELY USED AS SPECIFIED BY AWS AS FOLLOWS. MATERIALS AND ADHESIVES ARE TO BE FREE OF FORMALDEHYDE AND OTHER HARMFUL AGENTS, AND HAVE LOW OR NO VOC'S. PROVIDE MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL PRODUCTS THAT MAY CONTAIN HAZARDOUS MATERIALS.
- USE (WATER PROOF) IN ALL LOCATIONS WITH 4" OF SINKS, TYPE II (WATER RESISTANT IN ALL OTHER LOCATIONS
- ALL COUNTERTOPS, SURROUNDS, AND THE LIKE TO HAVE FINISHED STRAIGHT EDGES INSTALLED FLUSH WITH MILLWORK FACE UNLESS OTHERWISE NOTED.
- RECESSED LEADING EDGES, CORNERS, ETC. TO BE MINIMALLY EASED TO A MAXIMUM OF 1/32" RADIUS.
- MILLWORK TO BE INSTALLED IN PLACE, SQUARE, PLUMB, AND LEVEL IN CONFORMANCE WITH AWS "PREMIUM" GRADE.
- MILLWORK TO BE FIT AND/OR SCRIBED TO ABUTTING OTHER BUILDING COMPONENTS.
- FOR ACCESS TO PROVIDE ACCESS PANELS AT MILLWORK INTERIORS AS NECESSARY TO ACCESS /SERVICE ANY /ALL COMPONENTS CONCEALED BY THE MILLWORK AND/OR AS OTHERWISE INSTRUCTED BY THE CONSTRUCTION MANAGER, THE TENANT, AND/OR THE DESIGNER.
- ALL SUCH ACCESS PANELS SHALL BE FINISHED ON ALL SIDES TO MATCH MILLWORK INTERIORS AND SHALL BE INSTALLED TRUE, PLUMB, AND SQUARE WITH CONCEALED FASTENERS.
- INSTALL WORK IN CONFORMANCE WITH THE AWS.
- PRIOR TO FINAL OCCUPANCY, ALL MILLWORK TO BE ADJUSTED SUCH THAT ALL MOVING AND OPERATING PARTS TO FUNCTION SMOOTHLY AND CORRECTLY AND THAT ALL REVEALS BETWEEN PANELS ARE CONSISTENT DIMENSIONALLY. ALIGNED, LEVEL AND PLUMB. ALL NICKS, CHIPS AND SCRATCHES ARE TO BE REPAIRED. UN-REPAIRABLE DAMAGED COMPONENTS ARE TO BE REPLACED.
- UPON COMPLETION OF FINAL ADJUSTMENT AND TOUCH-UPS, ALL MILLWORK IS TO BE FULLY CLEANED AND ANY/ALL CONSTRUCTION DEBRIS, PENCIL MARKS, AND THE LIKE ARE TO BE REMOVED. EXPOSED SURFACES AS NOTED IN PLANS/ELEVATIONS/SCHEDULES.
- EXPOSED INTERIOR SURFACE/STO MATCH EXPOSED EXTERIORS SURFACES UNLESS OTHERWISE NOTED.
- SEMI-EXPOSED SURFACES TO MATCH EXPOSED SURFACES UNLESS OTHERWISE NOTED.
- FRONT AND BACKS, DRAWER FRONTS, AND FALSE FRONTS TO MATCH FRONTS AND BACK UNLESS OTHERWISE NOTED.
- DRAWER SIDES TO BE SEVEN PLY HARDWOOD VENEER CORE PLYWOOD, DRAWER BOTTOMS TO MATCH. SLIDES, FRONT AND BACK TO BE DADO ASSEMBLED. DRAWER BOTTOMS TO BE FULLY HOUSED INTO SIDES/SUB FRONT PANELS.
- WOOD GRAIN DIRECTION AS SPECIFIED IN ELEVATIONS.
- MARINE GRADE PLYWOOD TO BE USED BELOW ALL COUNTERTOPS IN WET LOCATIONS.

LIGHTING NOTES

- ALL ELECTRICAL, LIGHTING, POWER, AND COMMUNICATIONS WORK SHALL COMPLY WITH THE CANADIAN ELECTRIC CODE AS ADOPTED/AMENDED BY THE PROVINCE OF BRITISH COLUMBIA AND ANY/ALL OTHER REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE CONDUCTED IN A GOOD AND WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY BEST PRACTICES.
- ALL PENETRATIONS THROUGH CONCRETE SLABS TO BE SEALED.
- ALL WORK/COMPONENTS IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE ALL NECESSARY PROFESSIONAL ENGINEERING, SHOP DRAWINGS, LETTERS OF ASSURANCES, ETC. AS RELATED TO ITS RESPECTIVE WORK.
- DRILLED, RAMSET, AND/OR THE LIKE); REFER TO STRUCTURAL FOR MAXIMUM DRILL HOLE SIZE.
- ALL PENETRATIONS INTO SITE SLAB PENETRATIONS ARE SUBJECT TO REVIEW/APPROVAL BY THE STRUCTURAL CONSULTANT. ANY/ALL ASSOCIATED FEES/COSTS INCLUDING THE COST OF REQUIRED X-RAYING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION WORK, THE CONTRACTOR/SUBCONTRACTOR SHALL AT NO ADDITIONAL COST PREPARE FOR AND ISSUE TO THE CLIENT A COMPREHENSIVE MANUAL (MINIMUM TWO COPIES) WHICH INCLUDES: OPERATIONAL INSTRUCTIONS, SERVICING/MAINTENANCE REQUIREMENTS/SCHEDULES/PROTOCOLS, WARRANTIES/GUARANTEES, FINISH SPECIFICATIONS, AND ANY/ALL OTHER INFORMATION AS MAY BE NECESSARY FOR THE REGULAR OPERATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF SYSTEMS AND EQUIPMENT RELATED TO ITS WORK.
- PRIOR TO THE INITIATION OF WORK, THE CONTRACTOR/SUBCONTRACTOR SHALL AT NO ADDITIONAL COST SUBMIT FOR REVIEW AND APPROVAL ACCURATE LAYOUT PLANS, SHOP DRAWINGS, DETAILS, SPECIFICATIONS, AND THE LIKE.
- UPON COMPLETION OF WORK, THE CONTRACTOR/SUBCONTRACTOR SHALL AT NO ADDITIONAL COST ACCURATELY REDLINE DRAWINGS AND/OR OTHERWISE PREPARE AN ACCURATE RECORD SET OF ITS WORK CLEARLY NOTING ANY/ALL CHANGES TO DEVIATIONS FROM ISSUED CONSTRUCTION DOCUMENTS.
- PRIOR TO OCCUPANCY BY THE OWNER THE CONTRACTOR SHALL AT NO ADDITIONAL COST ADJUST/DIRECT ALL ADJUSTABLE LIGHTS AS INSTRUCTED BY THE CONSULTANT.

MEP NOTES

- ALL HVAC WORK SHALL COMPLY WITH PART 6 OF BC BUILDING CODE (BCBC) AND ANY/ALL OTHER REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- ALL PLUMBING WORK SHALL COMPLY WITH PLUMBING CODE OF BC (LATEST VERSION) AND APPLICABLE SECTIONS OF THE BC BUILDING CODE (BCBC) AND ANY/ALL OTHER REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- ALL ELECTRICAL, LIGHTING, POWER, AND COMMUNICATIONS WORK SHALL COMPLY WITH THE CANADIAN ELECTRIC CODE AS ADOPTED/AMENDED BY THE PROVINCE OF BRITISH COLUMBIA AND ANY/ALL OTHER REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- ALL FIRE PROTECTION WORK SHALL COMPLY WITH THE STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS N.F.P.A. NO. 13 1999 AND APPLICABLE SECTIONS OF THE BC BUILDING CODE 2024 AND ANY/ALL OTHER REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE CONDUCTED IN A GOOD AND WORKMANLIKE MANNER CONSISTENT WITH BUILDING BEST PRACTICES.
- ALL PLENUM SPACES SHALL COMPLY WITH THE REQUIREMENTS OUTLINED IN THE CURRENT BUILDING CODE.
- ALL WORK/COMPONENTS TO BE SEISMICALLY ANCHORED/RESTRAINED IN ACCORDANCE WITH THE BCBC (IN PARTICULAR SECTION 4.1.8.1b.) AND ANY/ALL OTHER CODES/REGULATIONS HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE ALL NECESSARY PROFESSIONAL ENGINEERING, SHOP DRAWINGS, LETTERS OF ASSURANCES, ETC. AS RELATED TO ITS RESPECTIVE WORK.
- ALL MECHANICAL ABOVE WOOD SLATS TO BE PAINTED BLACK.
- PENETRATIONS INTO TO B.O. SLABS FOR THE PURPOSE OF SECUREMENT (DRILLED, RAMSET, AND/OR THE LIKE); REFER TO STRUCTURAL FOR MAXIMUM DRILL HOLE SIZE.
- ALL PENETRATIONS INTO SITE SLAB PENETRATIONS ARE SUBJECT TO REVIEW/APPROVAL BY THE STRUCTURAL CONSULTANT. ANY/ALL ASSOCIATED FEES/COSTS INCLUDING THE COST OF REQUIRED X-RAYING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UPON THE COMPLETION WORK, EACH CONTRACTOR/SUBCONTRACTOR SHALL PREPARE/ISSUE TO THE OWNER AT NO ADDITIONAL COST AN OPERATIONS MAINTENANCE MANUAL (MINIMUM TWO COPIES) INCLUDING: OPERATIONAL INSTRUCTIONS, SERVICING/MAINTENANCE REQUIREMENTS/SCHEDULES/PROTOCOLS, WARRANTIES/GUARANTEES, FINISH SPECIFICATIONS, AND ANY/ALL OTHER INFORMATION AS MAY BE NECESSARY FOR THE REGULAR OPERATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF SYSTEMS AND EQUIPMENT RELATED TO ITS WORK.
- PRIOR TO THE INSTALLATION OF THE FINISH FLOOR MATERIALS, THE SUBFLOOR TO BE THOROUGHLY CLEANED AND MADE FREE FROM ANY DUST, DEBRIS, OILS, AND THE LIKE THAT MAY ADVERSELY AFFECT THE BONDING OF THE FINISH FLOOR.
- SHOP DRAWINGS: PRIOR TO THE INITIATION OF WORK THE GENERAL CONTRACTOR SHALL PROVIDE AN ACCURATELY DIMENSIONED TILING LAYOUT SHOP DRAWING FOR APPROVAL SO AS TO LOCATE ALL WALLS, FLOOR PENETRATIONS, MILLWORK, TRANSITIONS, AND THE LIKE.

FLOORING NOTES

- REFER TO CURRENT EDITIONS OF THE FOLLOWING STANDARDS;
 - ANSI A118.1/19A136 - 2013 Specifications for the Installation of Ceramic Tile
 - ANSI A118.17 Installation of Crack Isolation Membranes for Thin-Set Tile and Dimension Stone
 - ANSI A118.1 Specifications for Dry-Set Portland Cement Mortar
 - ANSI A118.2 Specifications for Conductive Dry-Set Portland Cement Mortar
 - ANSI A118.3 Specifications for Chemical Resistant, Water Cleanable Tile-Setting and Grouting Epoxy and Water Cleanable Tile Setting Epoxy Adhesive
 - ANSI A118.4 Specifications for Latex Portland Cement Mortar
 - ANSI A118.5 Specifications for Chemical Resistant Furan Resin Mortars and Grouts for Tile Installation
 - ANSI A118.6 Specifications for Ceramic Tile Grouts
 - ANSI A118.9 Cementitious Backer Units
 - ANSI A118.11 Specifications for EGP Latex-Portland Cement Mortar
 - ANSI A118.12 Crack Isolation Membrane
 - CAN/CGSB 25.20-95 Surface Sealer for Floors
 - CAN/CGSB 51.34-M86 Vapour Barrier, Polyethylene Sheet for Use in Building Construction
 - CAN/CGSB 75.1-A88 (Withdrawn) Tile, Ceramic
 - TCA Handbook for Ceramic, Glass, and Stone Tile Installation 2015.
 - TTMAC (Terrazzo Tile and Marble Association of Canada)
 - Specification Guide 09 30 00, Tile Installation Manual 2012-2014.
 - Maintenance Guide
 - BRITISH COLUMBIA BUILDING CODE, 2024 EDITION (BCBC).
- SAMPLES:
 - PROVIDE ASSEMBLED SAMPLES WITH GROUTED JOINTS FOR EACH TYPE AND COMPOSITION OF TILE AND FOR EACH COLOUR AND FINISH REQUIRED, AT LEAST 300mm (12 in.) SQUARE AND MOUNTED ON RIGID PANEL. USE GROUT OF TYPE AND IN
 - COLOUR APPROVED FOR COMPLETED WORK.
 - PROVIDE METAL EDGE STRIPS IN 150mm (6 in.) LENGTHS
 - SUBMIT SAMPLES A MINIMUM OF SIX WEEKS BEFORE SCHEDULED START OF INSTALLATION.
- MOCK-UP: CONSTRUCT 3m2 (10sf) MOCK-UP OF EACH TYPE OF FLOOR TILE AND WALL TILE, ANTI-FRACTURE MEMBRANE WATERPROOFING, FINISH GROUT, AND SPECIFIED ACCESSORIES. SHOW FIELD AND ANY BORDERS REQUIRED. MOCK-UP MAY REMAIN AS PART OF THE FINISHED WORK UPON ACCEPTANCE BY CONSULTANT. FAILURE OF WORK TO MATCH SAMPLE/ MOCKUP IS CAUSE FOR REJECTION AT NO ADDITIONAL COST TO THE OWNER.
- OBTAIN TILE, MORTAR, ADHESIVE, AND GROUT FROM ONE SOURCE OR PRODUCER. OBTAIN TILE, MORTAR, ADHESIVE, AND GROUT FROM SAME PRODUCTION RUN AND OF CONSISTENT QUALITY IN APPEARANCE AND PHYSICAL PROPERTIES FOR EACH CONTINUOUS AREA.
- ALL CERAMIC/PORCELAIN FLOOR TILES TO BE INSTALLED OVER SCHLUTER DITRA UNCOUPLING MEMBRANE OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STRICT INSTRUCTIONS AND INDUSTRY BEST PRACTICES.
- NOT WITHSTANDING THE ABOVE, LARGE FORMAT PORCELAIN TILES SHALL BE INSTALLED WITH 1/8" GROUT LINE THROUGHOUT WITH A MATCHING 1/8" SILICONE EXPANSION JOINT EVERY 10' IN EACH DIRECTION.
- DO NOT INSTALL TILES AT TEMPERATURES LESS THAN 12 DEGREES CELSIUS OR ABOVE 38 DEGREES CELSIUS.
- ALL JOINTS TO ALIGN, BE UNIFORM IN SIZE, STRAIGHT, LEVEL, AND PERPENDICULAR TO JOINTS. PROVIDE TILE SPACERS AS NOTED IN THE CONTRACT DOCUMENTS.
- ANY TILES MIS-ALIGNED ARE TO BE REMOVED, REPLACED AND RESET.
- TILES TO FIT AROUND ELECTRICAL OUTLETS, PIPING, FIXTURES, FITTINGS, COLLECTORS AND THE LIKE WITH A CONSISTENT GAP NOT EXCEED THE WIDTH OF A TYPICAL GROUT LINE.
- SUBFLOOR TO BE FREE FROM ANY DEFECTS SUCH AS HOLLOW AREAS, CRACKS, ETC.
- GROUT SHALL HAVE THE FOLLOWING STATIC COEFFICIENT OF FRICTION: FOR TILE INSTALLED ON WALKWAY SURFACES, PROVIDE PRODUCTS WITH THE FOLLOWING VALUES AS DETERMINED BY TESTING IDENTICAL PER ASTM C1028:
 - LEVEL SURFACES: MINIMUM 0.8
 - STEP THREADS: MINIMUM 0.6
 - RAMP SURFACES: MINIMUM 0.8
- TILES TO BE CUT OR DRILLED NEATLY AND PRECISELY WITHOUT MARRING THE TILE SURFACE.
- TILES TO BE LAID OUT AND INSTALLED CONSISTENT WITH APPROVED SHOP DRAWING, SET FIRMLY IN PLACE, AND ADJUSTED FLUSH WITH EACH ADJACENT TILE.
- ALL CUT TILES TO HAVE AN EASED EDGE AND/OR GROUND DOWN/POLISHED TO MATCH MANUFACTURED EDGES.
- TRANSITION BETWEEN FLOORING MATERIALS TO BE TRIMLESS AND TO BE AT CENTRE LINE OF DOORS UNLESS OTHERWISE NOTED ON THE PLANS.
- CARPET TO BE INSTALLED LEVEL TO ADJACENT HARD SURFACES WHEN COMPRESSED UNDER FOOT LOAD.
- FINISH FLOORING TO TERMINATE AT BACK FACE OF BASE REVEAL AT ALL PARTITIONS UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. INSTALLER TO ACCURATELY CUT/SCRIBE FINISH FLOORING TO INSURE A CONSISTENT EDGE ALONG BACK OF BASE REVEAL.
- FINISH FLOORING TO CONTINUE BENEATH CASEWORK AND EQUIPMENT.
- ENSURE JOINTS ARE FREE AND CLEAR OF ANY DIRT, DEBRIS AND/OR ANY OTHER CONTAMINATION TO FULL DEPTH OF TILE PRIOR TO THE INSTALLATION OF TILE AND AN APPROPRIATELY MATCHED (APPROVED) EXPANSION JOINT COMPOUND.
- THOROUGHLY SPONGE AND WASH PORCELAIN/CERAMIC TILES. POLISH GLAZED SURFACES WITH CLEAN DRY CLOTHS. CLEANING METHODS AND MATERIALS SHALL NOT DAMAGE OR ALTER IN ANY WAY WHATSOEVER THE APPEARANCE OF TILE AND/OR GROUT SURFACES.
- DELIVER AND STORE PACKAGED MATERIALS IN ORIGINAL CONTAINERS WITH SEALS UNBROKEN AND LABELS INTACT UNTIL TIME OF USE. COMPLY WITH ANSI A137.1 FOR LABELING SEALED TILE PACKAGES. STORE TILE AND CEMENTITIOUS MATERIALS ON ELEVATED PLATFORMS, UNDER COVER, AND IN A DRY LOCATION TO MANUFACTURERS WRITTEN INSTRUCTIONS.

- INSTALLER QUALIFICATIONS: WORK TO BE INSTALLED BY INSTALLERS SPECIALIZED IN THE PERFORMANCE OF SUCH WORK HAVING A MINIMUM OF FIVE (5) YEARS OF RELATED EXPERIENCE.
- WARRANTY: PROVIDE A FIVE (5) YEAR WARRANTY ON THE COMPLETE SETTING SYSTEM AS SPECIFIED IN THIS WARRANTY TO INCLUDE COST OF FINISHING MATERIALS, LABOUR, AND INSTALLATION IN THE EVENT OF PRODUCT FAILURE. DEFECTIVE WORK INCLUDES BUT NOT LIMITED TO, LOSS OF BOND, LOOSENING, CRACKING, SPLITTING AND WARPING OR OTHER DEFORMATIONS AND DISCOLOURATION OF GROUT.
- MANUFACTURER QUALIFICATIONS: COMPANY SPECIALIZING IN MANUFACTURING THE PRODUCTS SPECIFIED TO HAVE MINIMUM THREES (3) YEARS DOCUMENTED FIELD SERVICE EXPERIENCE.
- PRE-INSTALLATION SITE MEETING: CONVENE ONE (1) WEEK BEFORE STARTING WORK WITH FLOORING INSTALLERS, TO COORDINATE THE SELECTION OF SELF-LEVELLING COMPOUND AND FOR ACCESS TO EACH FLOORING TRADE TO OBTAIN APPROVAL FROM SELF-LEVELLING COMPOUND MANUFACTURER FOR USE OF ADHESIVE, MORTAR OR GROUT TO BE USED BY EACH FLOORING INSTALLER FOR EACH MATERIAL INSTALLED. WORK TO COMPLY WITH ANY/ALL CODES AND REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- MANUFACTURERS CERTIFICATE: CERTIFY THAT PRODUCTS MEET OR EXCEED SPECIFIED REQUIREMENTS OF CAN/CGSB 75.1.
- IT IS THE RESPONSIBILITY OF THE FLOORING INSTALLERS TO ENSURE THAT THE SUBFLOOR CONDITION IS ACCEPTABLE AND HAS BEEN ADEQUATELY PREPARED AND/OR OTHERWISE SUITABLE FOR THE COMPLETION OF ITS WORK.
- PRIOR TO THE INSTALLATION OF THE FINISH FLOOR MATERIALS, THE SUBFLOOR TO BE THOROUGHLY CLEANED AND MADE FREE FROM ANY DUST, DEBRIS, OILS, AND THE LIKE THAT MAY ADVERSELY AFFECT THE BONDING OF THE FINISH FLOOR.
- SHOP DRAWINGS: PRIOR TO THE INITIATION OF WORK THE GENERAL CONTRACTOR SHALL PROVIDE AN ACCURATELY DIMENSIONED TILING LAYOUT SHOP DRAWING FOR APPROVAL SO AS TO LOCATE ALL WALLS, FLOOR PENETRATIONS, MILLWORK, TRANSITIONS, AND THE LIKE.

CEILINGS

- CONTRACTOR TO REFER TO CURRENT EDITIONS OF THE FOLLOWING STANDARDS;
 - ANSI (OSI) Architectural Woodwork Quality Standards Illustrated.
 - CISCA: Ceiling Systems Handbook.
 - BC BUILDING CODE, 2024 EDITION (BCBC)
 - ALL WORK TO BE DONE BY AN EXPERIENCED INSTALLER.
- CEILING STRUCTURE TO BE INSTALLED SQUARE, LEVEL, AND ACCURATELY SPACED WITH A MAXIMUM TOLERANCE OF NOT MORE 1:1200 OR AS OTHERWISE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- CEILING TO BE INSTALLED IN ACCORDANCE WITH CONSULTANT'S REFLECTED CEILING PLAN INSTRUCTIONS. ALL WORK TO BE INSPECTED/APPROVED BY THE CONSULTANT AND ANY/ALL CODES AND REGULATIONS/AUTHORITIES HAVING JURISDICTION.
- IF APPLICABLE, FINISHED WOOD SUPPLIED FOR THE CEILING FROM ONE SINGLE SOURCE FABRICATOR, WITH IN-HOUSE SHOP DRAWING CAPABILITIES, IN-HOUSE ASSEMBLY AND FINISHING WITH RESOURCES AND WITH RESOURCES TO PROVIDE PRODUCTS OF CONSISTENT QUALITY IN APPEARANCE AND PHYSICAL PROPERTIES WITHOUT DELAYING THE PROJECT.
- SUPPLIER AND/OR ITS REPRESENTATIVE SHALL BE REQUIRED TO ATTEND PROJECT MEETINGS AS REQUESTED BY THE CONSULTANT.
- SAMPLES: PROVIDED TO BE MINIMUM 300 x 300 mm (12 x 12 in.) AS REQUESTED BY THE CONSULTANT FOR REVIEW/APPROVAL FOR EACH TYPE OF EXPOSED FINISH INCLUDING SAMPLES SHOWING THE RANGE OF VARIATIONS EXPECTED (WHERE FINISHES INVOLVE NORMAL COLOR AND TEXTURE VARIATIONS).
- SHOP/ COORDINATION DRAWINGS: REQUIRED FOR CEILING AND ASSOCIATED PRODUCT DETAILS FOR COORDINATION WITH ALL OTHER CEILING RELATED ELEMENTS INCLUDING BUT NOT LIMITED TO ANY/ALL PENETRATIONS, LIGHT FIXTURES, HVAC EQUIPMENT, FIRE SUPPRESSION SYSTEM COMPONENTS, PARTITION ASSEMBLIES, PERIMETER CONDITIONS, ACCESS PANELS, AND THE LIKE.
- DROPPED GWB CEILINGS SHALL BE INSTALLED AS FOLLOWS:
 - SUPPORT HANGERS AT 4' 0" O.C. MAX ALONG RUNNING CHANNELS AND NOT MORE THAN 6" FROM BOUNDARY WALLS, INTERRUPTIONS OF CONTINUITY, AND CHANGES IN DIRECTION.
 - RUNNING CHANNELS AT 3'-0" O.C. MAX AND NOT MORE THAN 6" FROM BOUNDARY WALLS, INTERRUPTIONS OF CONTINUITY, AND CHANGES IN DIRECTION.
 - FURRING CHANNELS AT 18" O.C. MAX AND NOT MORE THAN 6" FROM BOUNDARY WALLS, INTERRUPTIONS OF CONTINUITY, AND CHANGES IN DIRECTION.
 - LONG EDGE AT RIGHT ANGLE TO SUPPORTS
- LEVEL WITH A MAXIMUM TOLERANCE OF NOT MORE 1:1200.
- ALL CEILING ASSEMBLIES SHALL BE INSTALLED TO SUPPORT SUPER IMPOSED LOADS SUCH AS LIGHT FIXTURES, DIFFUSERS, ACCESS PANELS.
- CEILING CONTRACTORS/SUBCONTRACTORS TO MAKE ALL NECESSARY PROVISIONS TO ACCOMMODATE LIGHT FIXTURES, DIFFUSERS, ACCESS PANELS, AND THE LIKE.
- CEILING RELEASE CONNECTORS WHERE REGULAR / ROUTINE ACCESS PANELS TO CEILING SPACE ABOVE IS REQUIRED.
- PRIOR TO INSTALLATION, WOOD PANELS SHALL BE ACCLIMATIZED TO ROOM TEMPERATURE AND A STABILIZED MOISTURE CONTENT (AT LEAST 72 HOURS PER AWI STANDARDS.
- INSTALLER SHALL PROTECT ALL WORK AND PREVENT DAMAGE TO ANY EXISTING WORK AS A CONSEQUENCE OF THE INSTALLATION OF ITS WORK
- DROPPED CEILING FROM BUILDING'S STRUCTURAL MEMBERS PER STRUCTURAL DESIGN SPECIFICATION AND IN COMPLIANCE WITH ALL LOCAL CODES AND REGULATIONS.
- DO NOT OVERNIGHT ALL FIXINGS, FILL AND TOUCH-UP WITH MATCHING FINISHING PRODUCTS TO A LEVEL OF FINISH CONSISTENT WITH THE ORIGINAL.
- CLEAN AND TOUCH-UP OF MINOR FINISH DAMAGE. REMOVE AND REPLACE BOLLARDS, FASTENERS AND OTHER SPECIAL ITEMS THAT ARE REQUIRED TO PERMANENTLY ELIMINATE EVIDENCE OF DAMAGE.
- ACCESS PANELS IN GWB CEILINGS SHALL BE C/W CONCEALED SUSPENSION PER INSTALLER, 1/8" MAX GAP BETWEEN PERIMETER AND ADJACENT MATERIAL. ACCESS PANELS WITH A PICTURE FRAME TRIM ARE PROHIBITED. TRIMLESS ACCESS PANELS SHOULD BE FLUSH WITH SURROUNDING CEILING LEVEL.
- GWB CEILINGS ARE TO BE INSTALLED AS PART OF THE ACOUSTIC SEPARATION OF SPACES IN WHICH THEY ARE INSTALLED.

ARCHITECTURAL CUSTOM METAL (FLASHING)

- REFER TO CURRENT EDITIONS OF THE FOLLOWING STANDARDS;
 - ASTM B208 Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate
 - AMS QQA 250/8 Aluminum alloy
 - BC BUILDING CODE, 2024 EDITION (BCBC).
- SCOPE OF WORK: METAL CLADDING SYSTEM TO INCLUDE INSTALLATION OF BUILDING PAPER, HIGH TEMP. PEEL & STICK MEMBRANE, VERTICAL HAT TRACK, HORIZONTAL HAT TRACK, PANELS AND ALL ASSOCIATED FLASHINGS.
- SHOP DRAWINGS: CLEARLY INDICATE ALL JOINTS, FLASHINGS, CLIPS, SUPPORTS, FASTENERS AND OTHER SPECIAL ITEMS THAT ARE REQUIRED TO COMPLETE THE INSTALLATION.
- SAMPLES: SUBMIT FOUR (4) CONTROL SAMPLES OF ALUMINUM THICKNESS AND COLOUR. SAMPLE MUST BE LARGE.
- UNLESS OTHERWISE NOTED, ALLOW A MINIMUM OF FOURTEEN (14) WORKING DAYS FOR REVIEW AND PROCESSING SUBMITTALS BY CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR IS RESPONSIBLE FOR ENSURING THE COMPLETE PERFORMANCE OF WALL SYSTEMS, INCLUDING DETAILS, FASTENINGS AND ACCOMMODATION OF ADJACENT CONNECTING INSTALLATIONS.
- SHOP DRAWINGS: SUPPLY CERTIFICATION FROM A PROFESSIONAL ENGINEER, REGISTERED IN B.C. THAT THE METAL CLADDING SYSTEM WILL WITHSTAND THE DESIGN WIND LOADS.
- SHOP DRAWINGS: THE PROFESSIONAL ENGINEER SHALL PROVIDE LETTERS OF CERTIFICATION CONFIRMING THAT ANY GALVANIZED HATER SYSTEM HAS BEEN INSTALLED ACCORDING TO THE DRAWINGS IN WHICH HE/SHE HAS SEALED LETTERS OF CONFIRMATION WILL TAKE THE FOLLOWING FORM: SCHEDULE S-B ASSURANCE OF PROFESSIONAL DESIGN & COMMITMENT FOR FIELD REVIEWS BY SUPPORTING REGISTERED PROFESSIONALS OR SCHEDULE S-C ASSURANCE OF PROFESSIONAL FIELD REVIEW & COMPLIANCE BY SUPPORTING REGISTERED PROFESSIONALS.
- STORAGE: HANDLE AND STORE PRODUCTS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PROTECT ALL CORNERS FROM DAMAGE.
- WARRANTY: PROVIDE THE OWNER WITH THE METAL MANUFACTURER'S 20 YEAR WARRANTY FOR THE PAINT/SURFACE FINISH. PROVIDE THE OWNER WITH A WARRANTY THAT THE PANEL INSTALLATION WILL NOT FAIL FOR A MINIMUM OF 10 YEARS FROM THE DATE OF COMPLETION.
- SEALANTS: IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FLASHING: 0.044 inch PREFINISHED ALUMINUM.
- CLOSURES: AS RECOMMENDED BY MANUFACTURER.
- METAL FLASHING:
 - PROFILE AS INDICATED ON DRAWINGS
 - MATERIAL SEPARATOR: AS RECOMMENDED BY MANUFACTURER.
 - JOINTS: ALL PANEL CORNERS/ TRANSITIONS TO BE MITRED
 - FLASHINGS: FLASHINGS TO PROFILES INDICATED ON DETAILS
 - COLOUR: PER ARCHITECTURAL ELEVATIONS.
- FABRICATION: FABRICATION OF FLASHING AND RELATED COMPONENTS TO COMPLY WITH DIMENSIONS, PROFILES, GAUGES AND DETAILS AS SHOWN ON THE SHOP DRAWINGS INCLUDING ROOF, FASCIA, SOFFIT AND OTHER REQUIRED FLASHING.
- ERECTION: ERECT WALL CLADDING AS INDICATED ON REVIEWED SHOP DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ENVELOPE MEMBRANES IN CONFORMANCE WITH REQUIREMENTS AS DESCRIBED BY THE ENVELOPE MANUFACTURER.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING HAT TRACKS. APPLY PEELS AND STICK ISOLATION MEMBRANE BETWEEN METAL HAT TRACK AND CONCRET (IF APPLICABLE). PRIOR TO INSTALLATION PROVIDE A MOCKUP WALL SECTION SHOWING ALL TYPICAL DETAILS SUCH AS PANEL JUNCTION / CLOSER STRIPS / FLASHING.
- WALL CLADDING INSTALLATION: INSTALL EXTERIOR METAL CLADDING PANELS USING MANUFACTURER'S PROPER CONSTRUCTION PROCEDURE. PROVIDE NOTCHED AND FORMED CLOSURES, SEALED AGAINST WEATHER PENETRATION AS REQUIRED.
- FLASHING INSTALLATION: USE CONCEALED FASTENERS WHERE APPROPRIATE. EXPOSED FASTENERS TO BE OF SAME COLOUR AS WALL CLADDING. LOCK END JOINTS AND CAULK TO PROVIDE WEATHERTIGHT SEAL.
- CLOSURES: INSTALL CLOSURES IN ACCORDANCE WITH SHOP DRAWINGS.
- TOUCH-UP AND CLEANING: TOUCH UP MINOR PAINT ABRASIONS WITH TOUCH-UP PAINT. CLEAN PANELS AND WIPE DRY.



NOT FOR CONSTRUCTION

DRAFT

10	11-Aug-25	Reissued for BP [Draft]
9	17-Jul-25	Issued for BP
8	25-Jun-25	Issued for Review [Draft BP]
7	19-Jun-25	Issued For Arts Council Coordination
6	16-Jun-25	Issued For Structural Coord.
5	28-May-25	Issued For Coordination/Pricing
4	22-Apr-25	Issued For Presentation
3	21-Mar-25	Issued For Client Review
2	20-Mar-25	Issued For Structural Coordination
1	17-Mar-25	Issued For Review/ Coordination

REV DATE DESCRIPTION

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

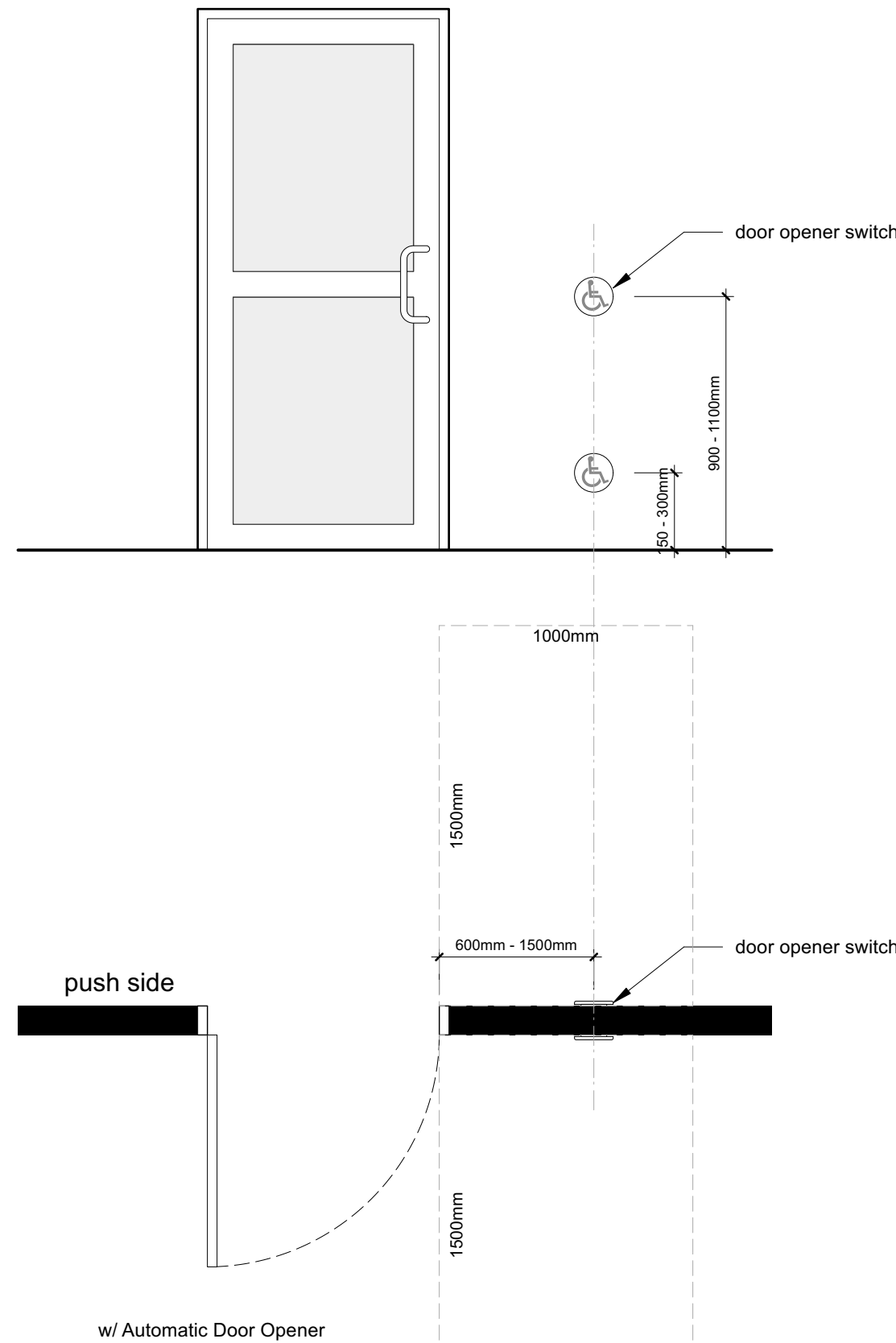
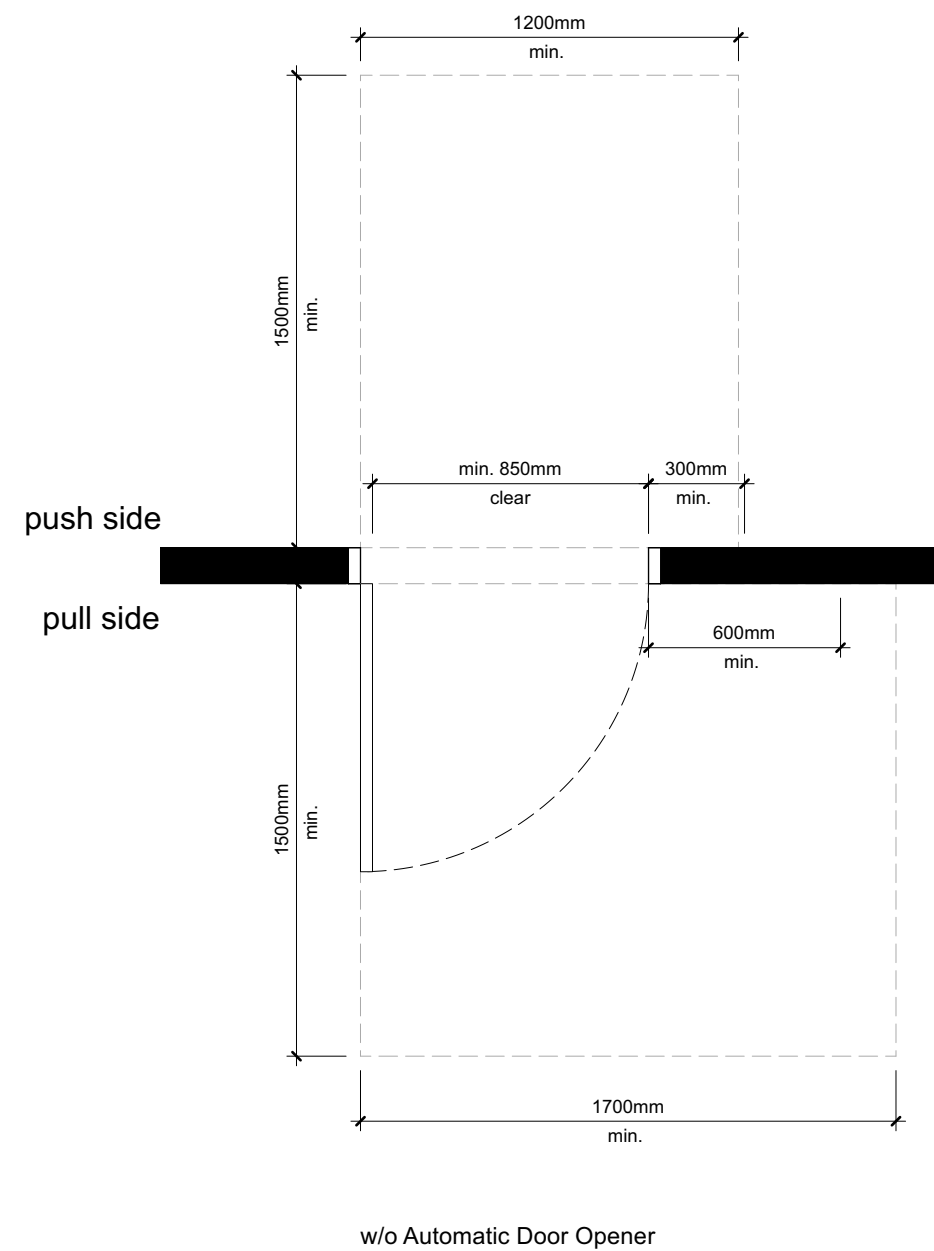
ACCESSIBILITY

SCALE: AS NOTED

A010

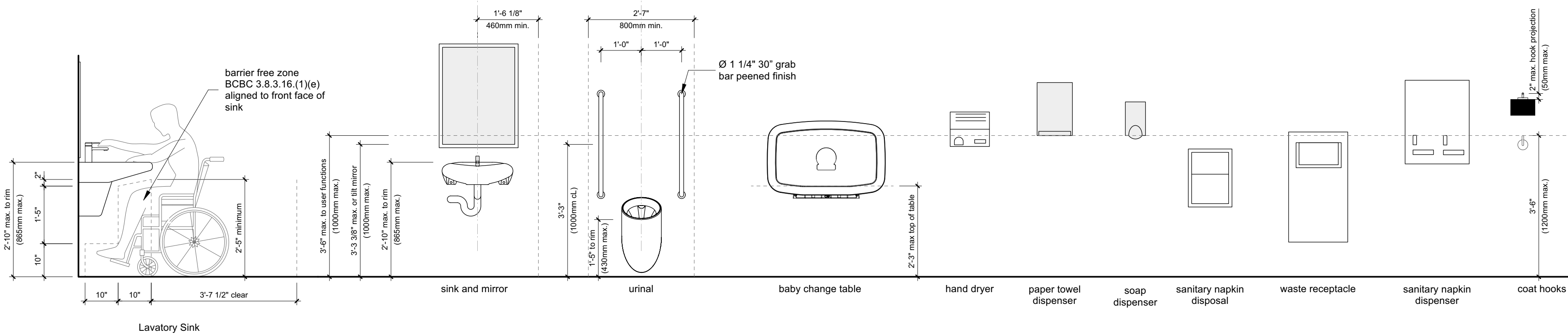
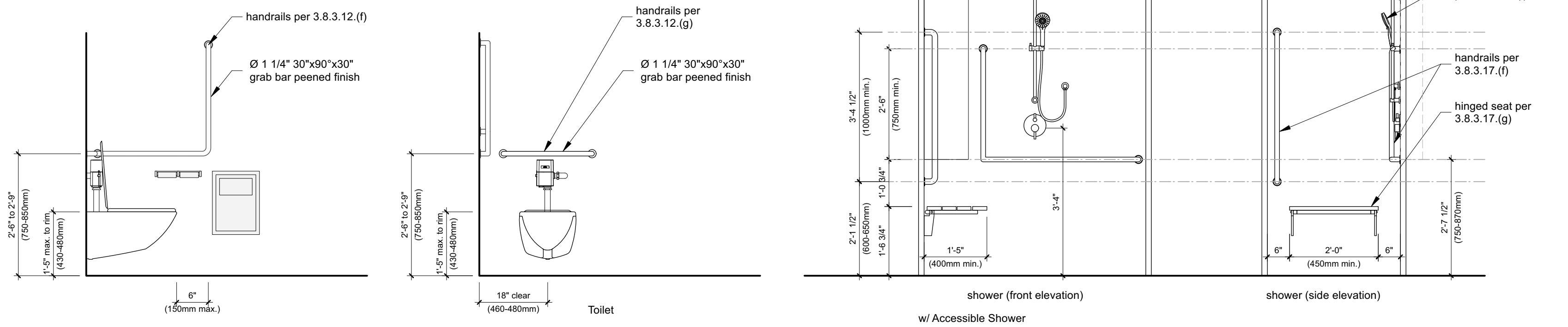
Accessible Door Clearances

per BCBC 3.8.3.6

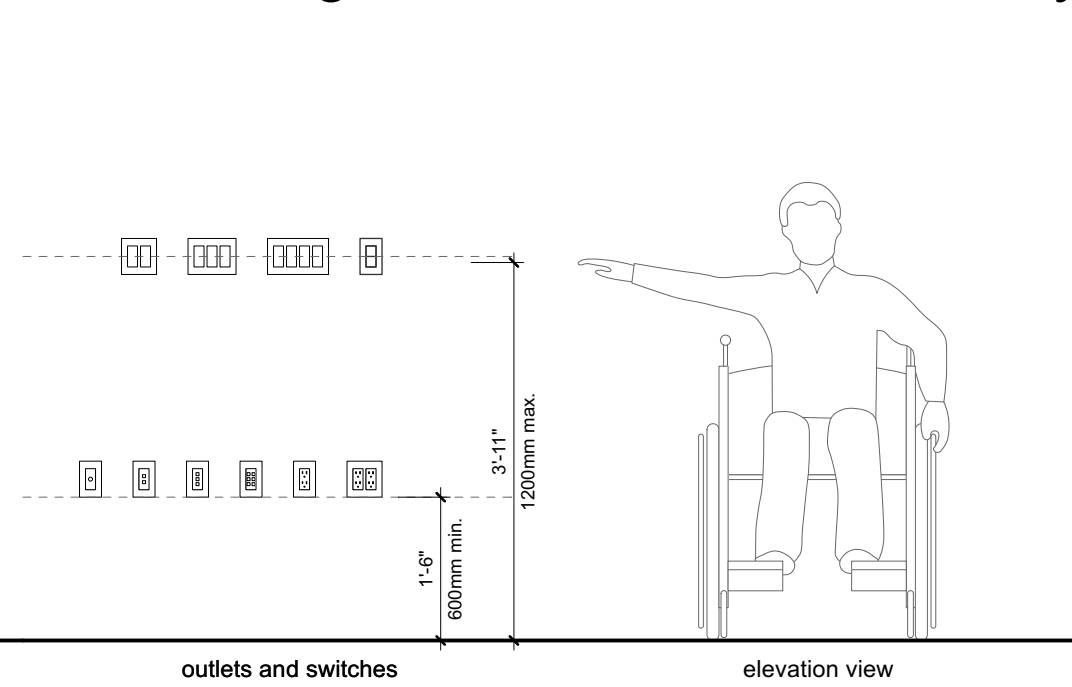


Washroom Accessibility

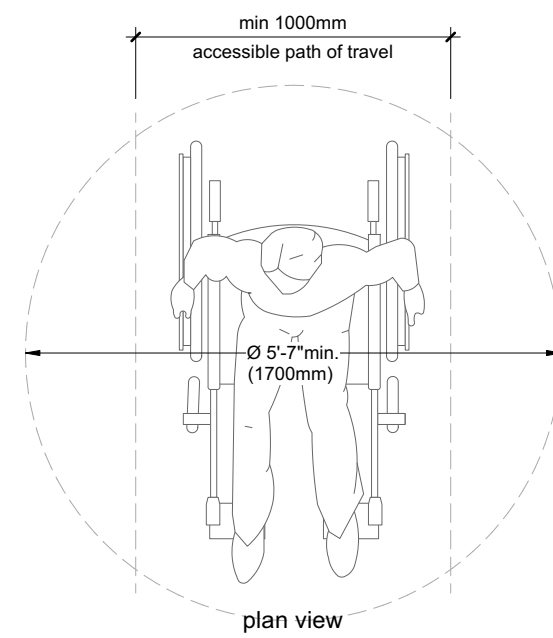
per BCBC 3.8.3.12

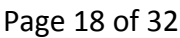


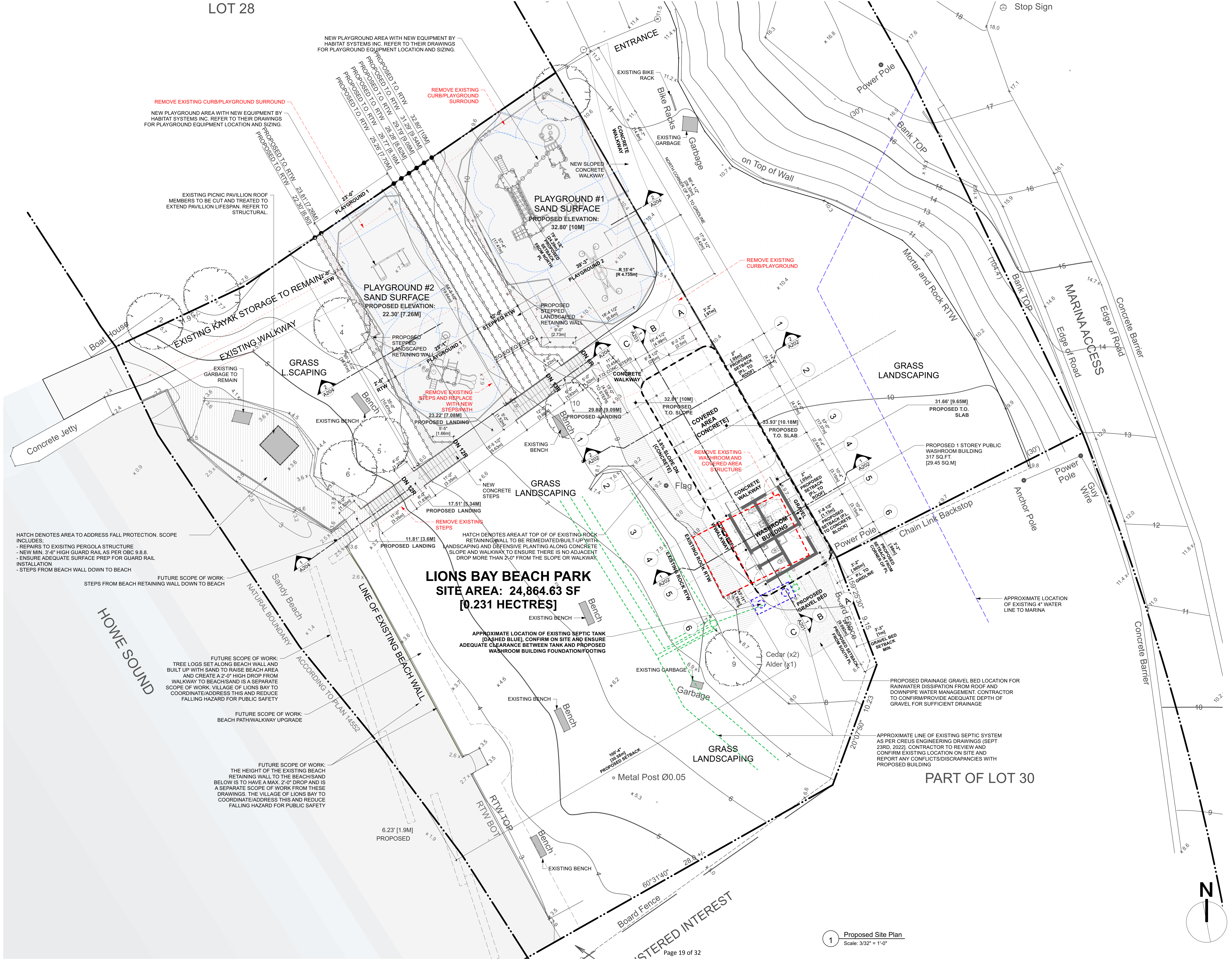
Control Alignment



Typical Clearances







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PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
**LIONS BAY BEACH PARK, LIONS BAY, BC
VILLAGE OF LIONS BAY**

PROJECT NO: 24148

SITE PLAN

SCALE: AS NOTED

DRAFT

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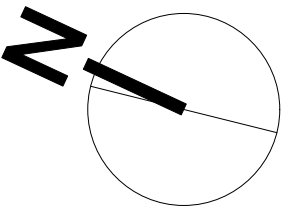
PROJECT ADDRESS

**LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY**

PROJECT NO: 24148

SCALE: AS NOTED

A102



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PROJECT
LIONS BAY BEACH PARK

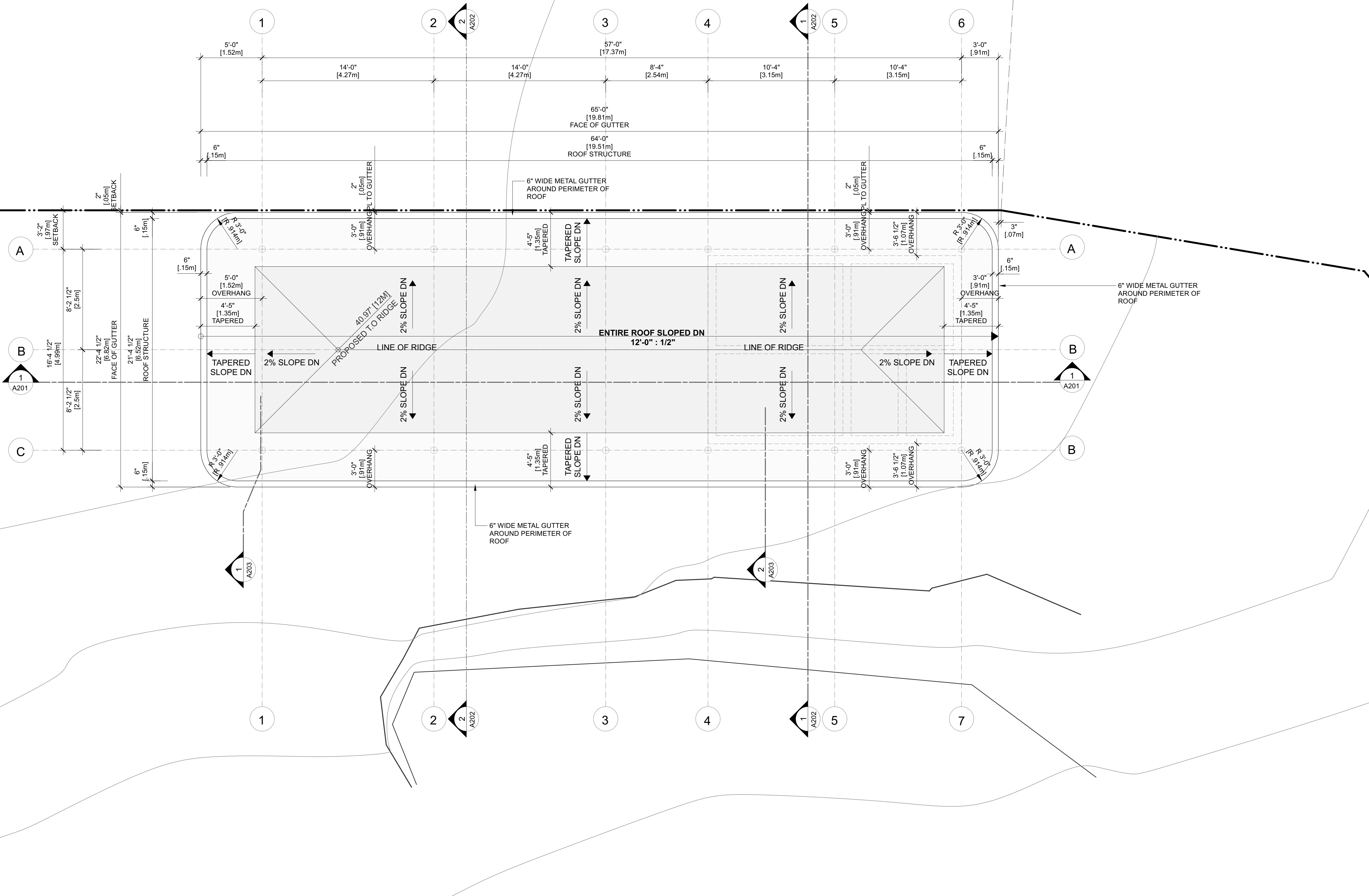
PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

ROOF PLAN

SCALE: AS NOTED

A103

TOTAL ROOF AREA: 1,447 SQ.FT [134.43 SQ.M]



1 Roof Plan
Scale: 1/4" = 1'-0"

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DRAFT

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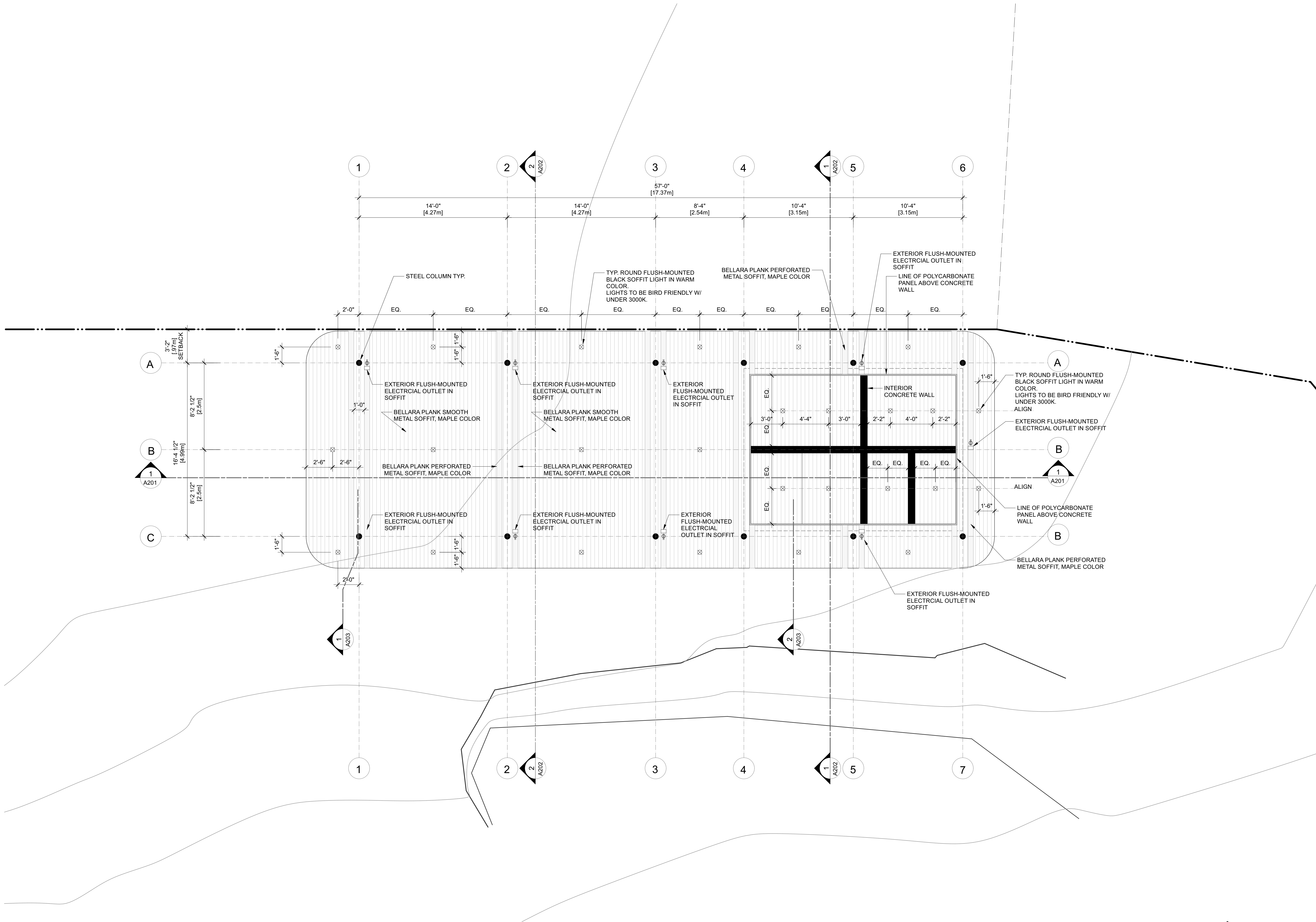
PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

RCP PLAN

SCALE: AS NOTED

A104



1 Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

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PROJECT
LIONS BAY BEACH PARK

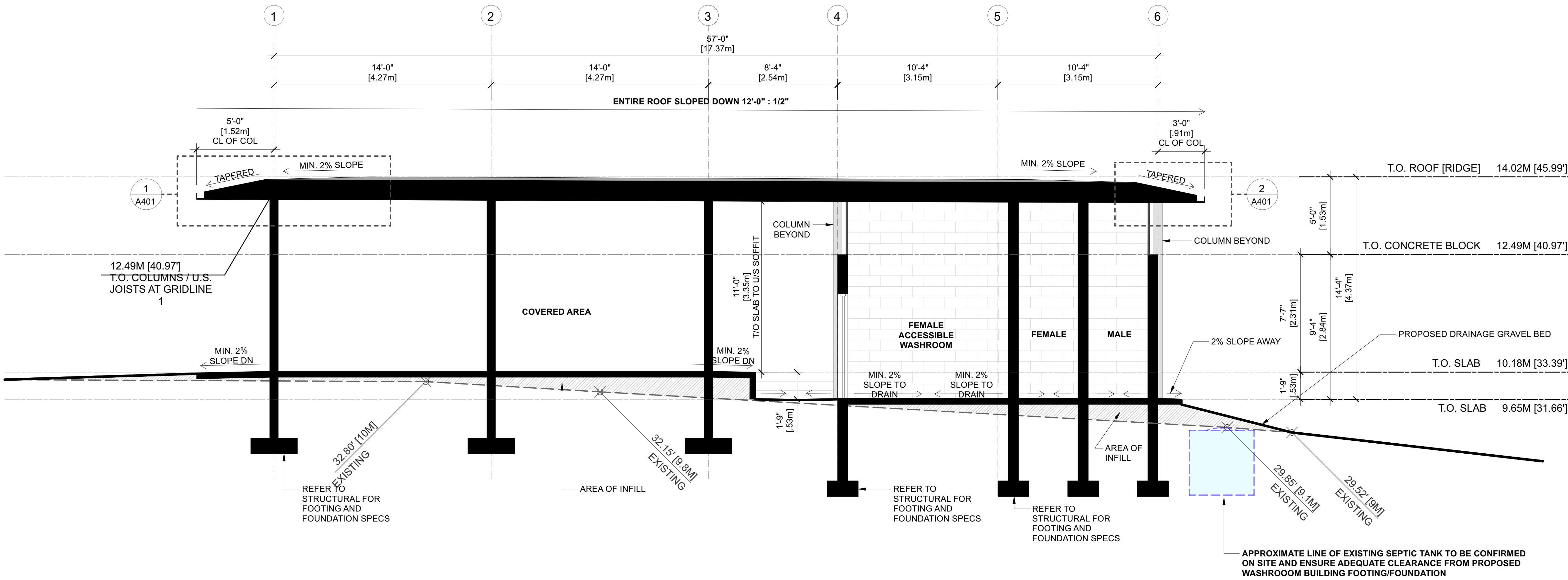
PROJECT ADDRESS
**LIONS BAY BEACH PARK, LIONS BAY, BC
VILLAGE OF LIONS BAY**

PROJECT NO: 24148

SECTIONS

SCALE: AS NOTED

A201



1 SECTION 1
Scale: 1/4" = 1'-0"

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PROJECT
LIONS BAY BEACH PARK

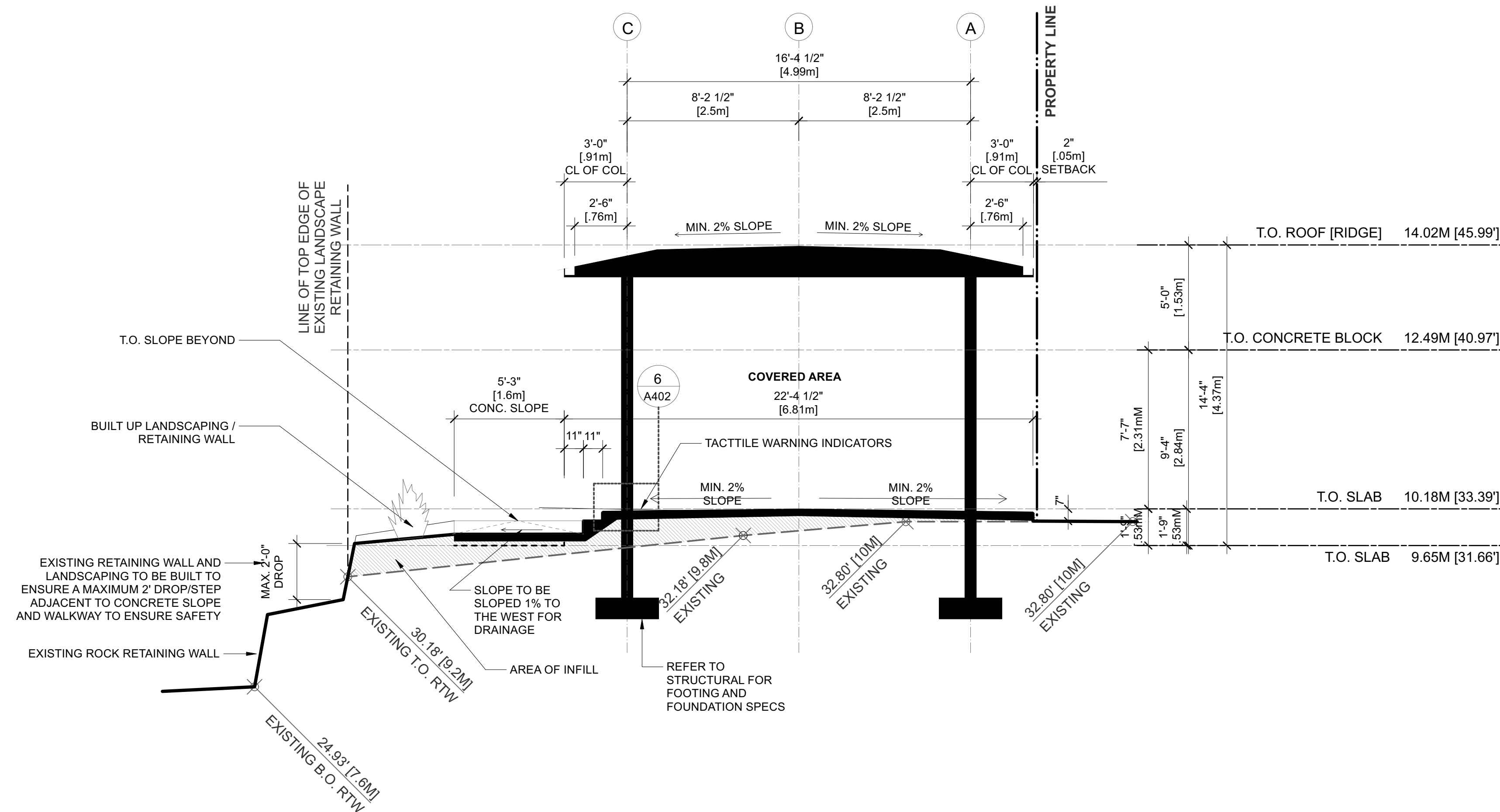
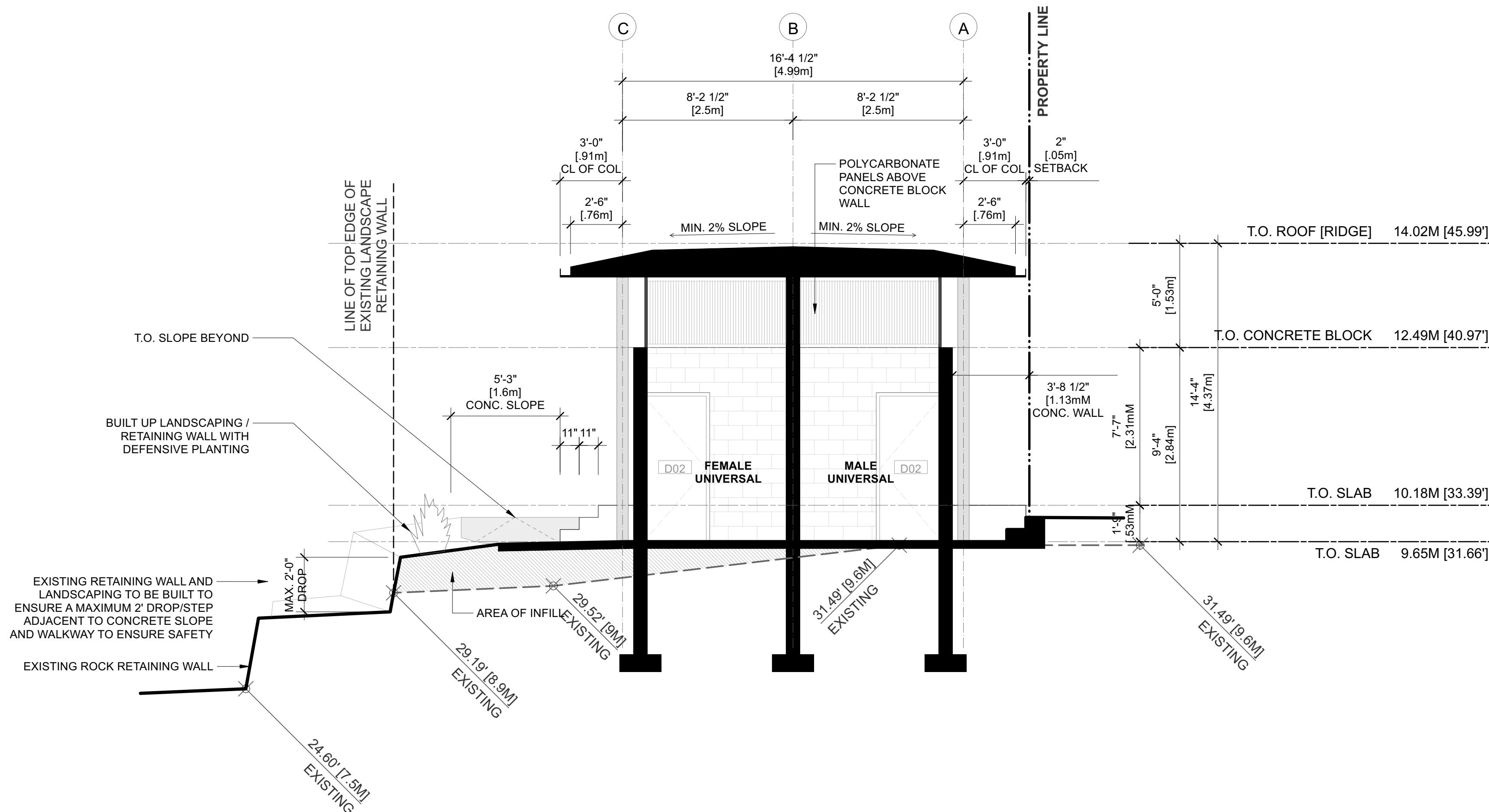
PROJECT ADDRESS
**LIONS BAY BEACH PARK, LIONS BAY, BC
VILLAGE OF LIONS BAY**

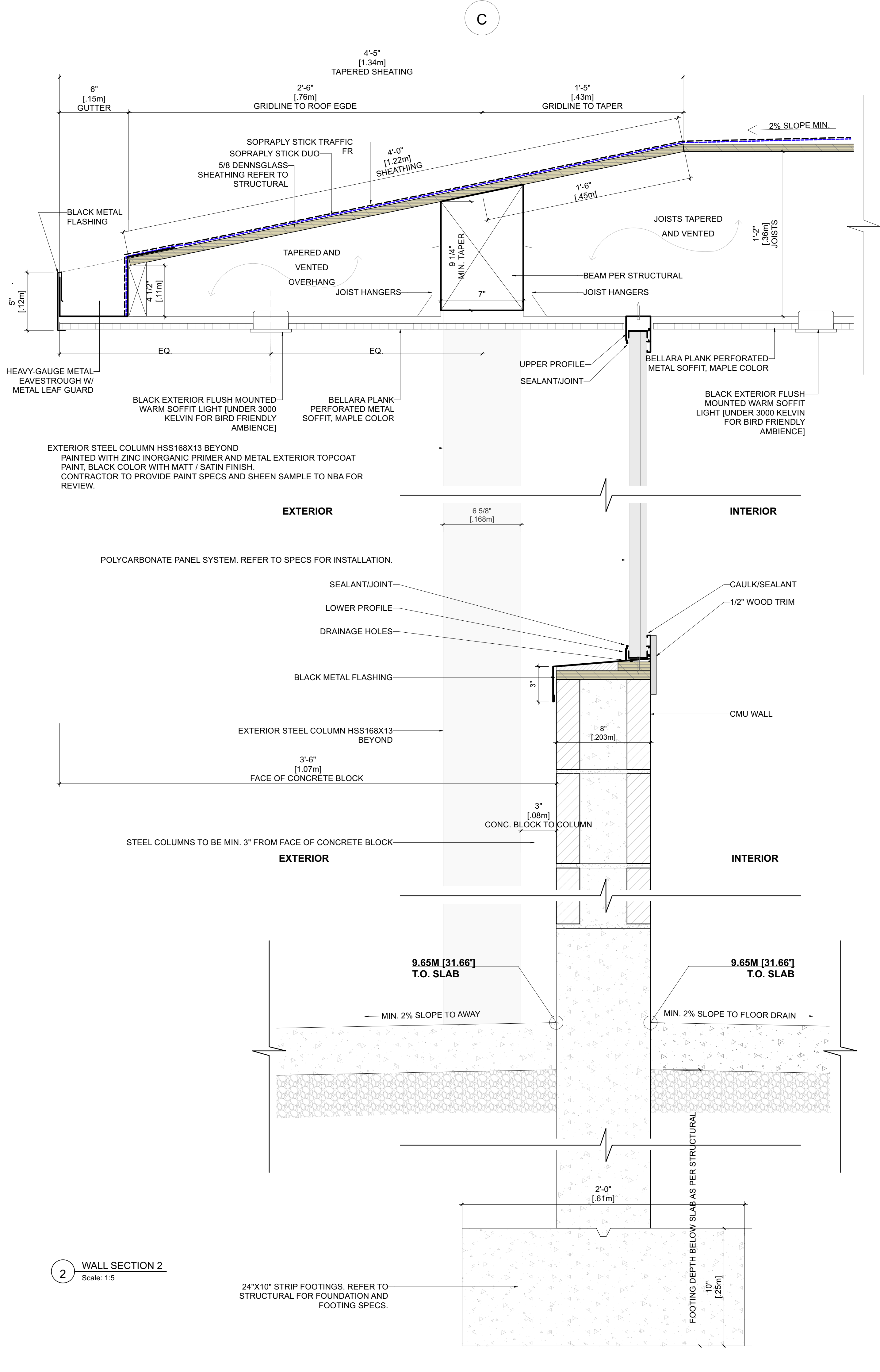
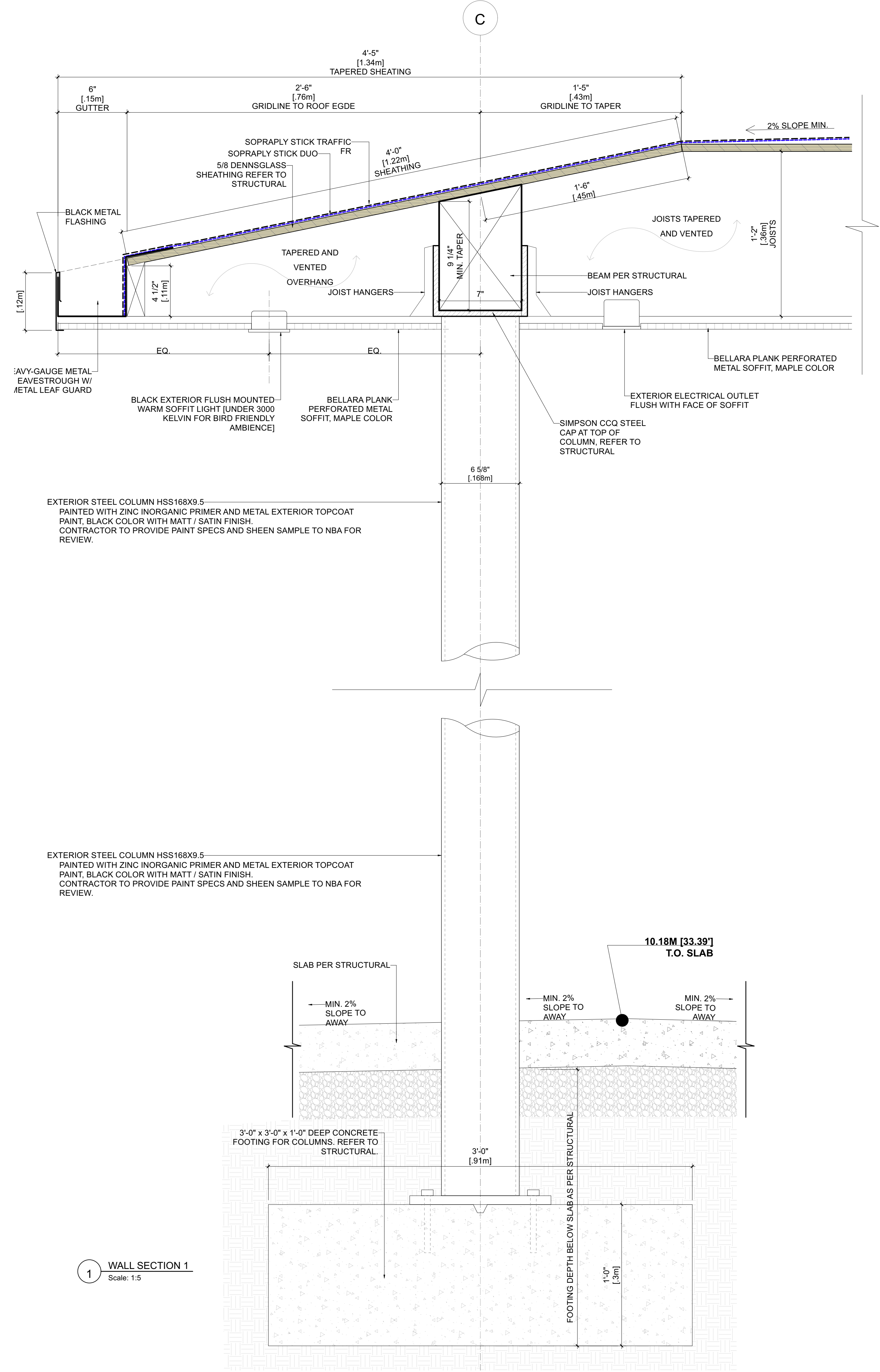
PROJECT NO: 24148

SECTIONS

SCALE: AS NOTED

A202





nba

architecture + design

+1 604 900 8238

www.nickbray.ca

info@nickbray.ca

2531 Ontario Street, Vancouver, BC, V5T 2X7

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PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

WALL/COLUMN
SECTIONS

SCALE: AS NOTED

A203

DRAFT

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PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
**LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY**

PROJECT NO: 24148

SCALE: AS NOTED

A204



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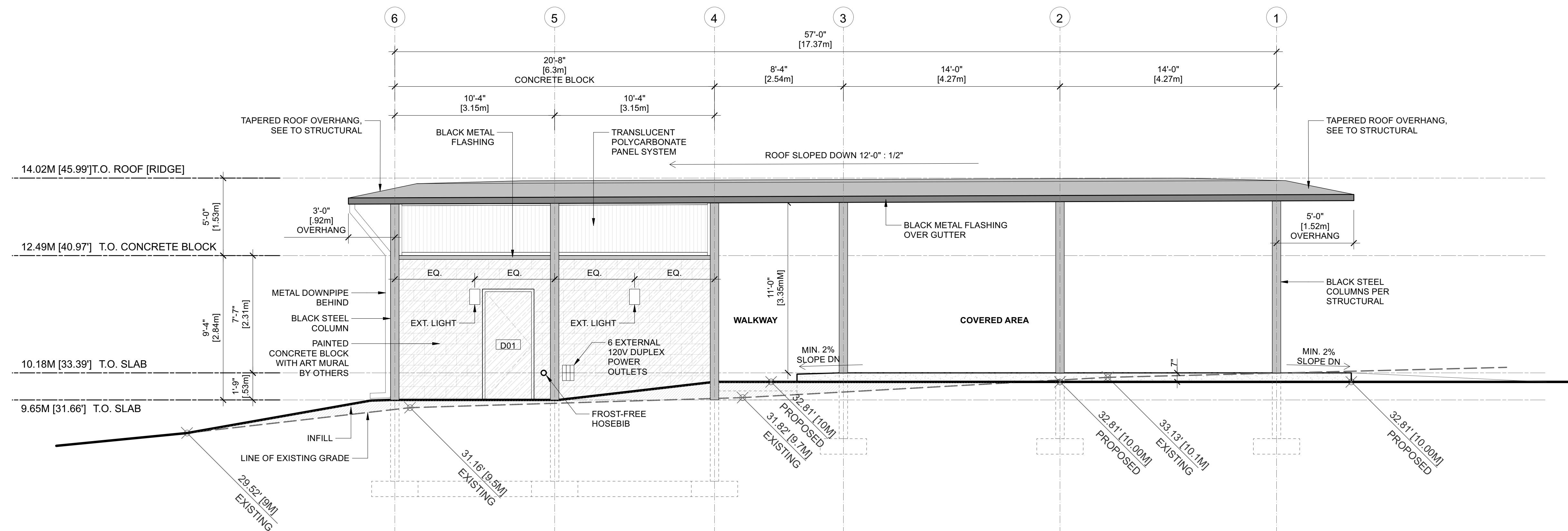
PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

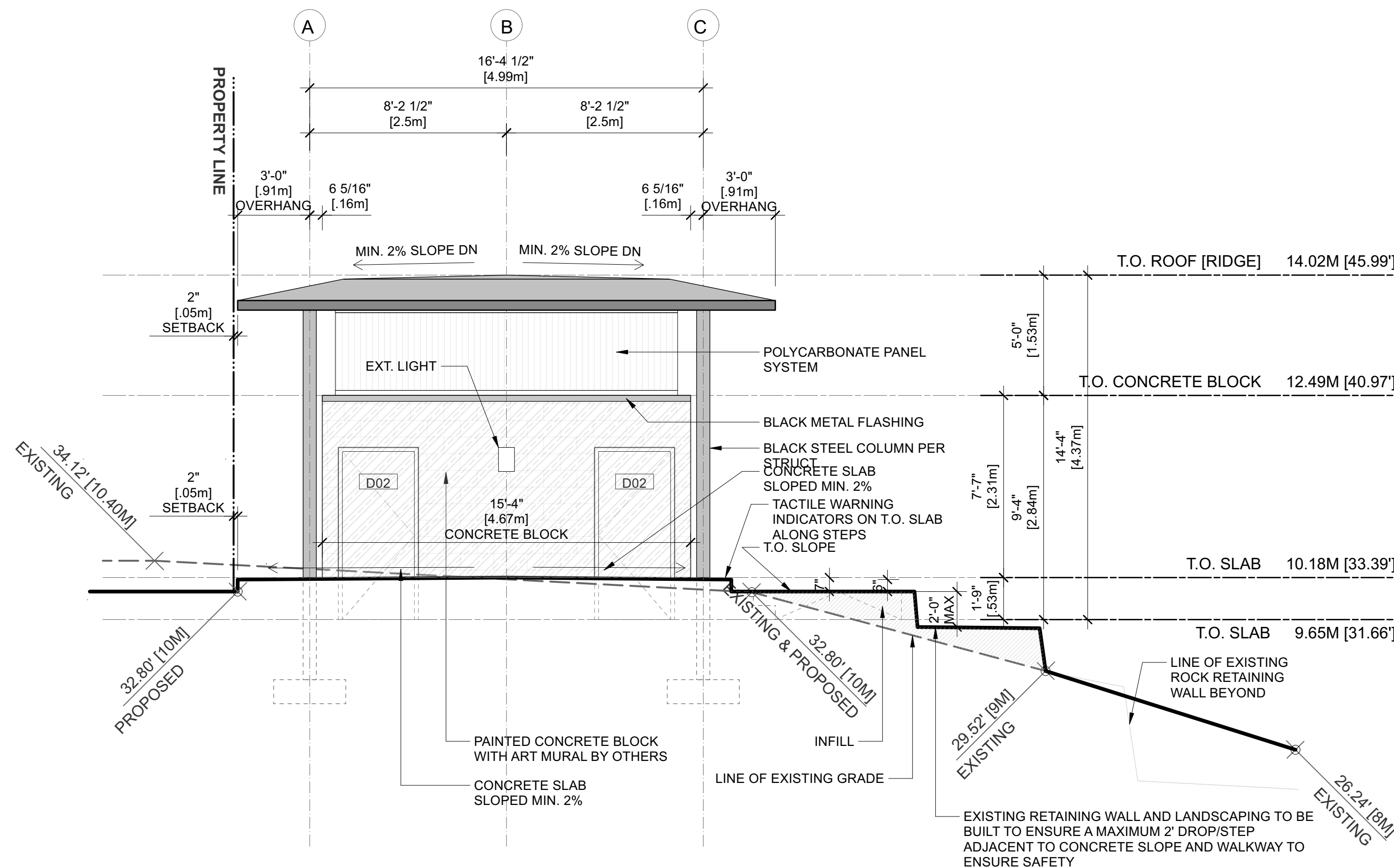
NORTH & EAST
ELEVATION

SCALE: AS NOTED

A301



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION
Scale: 1/4" = 1'-0"

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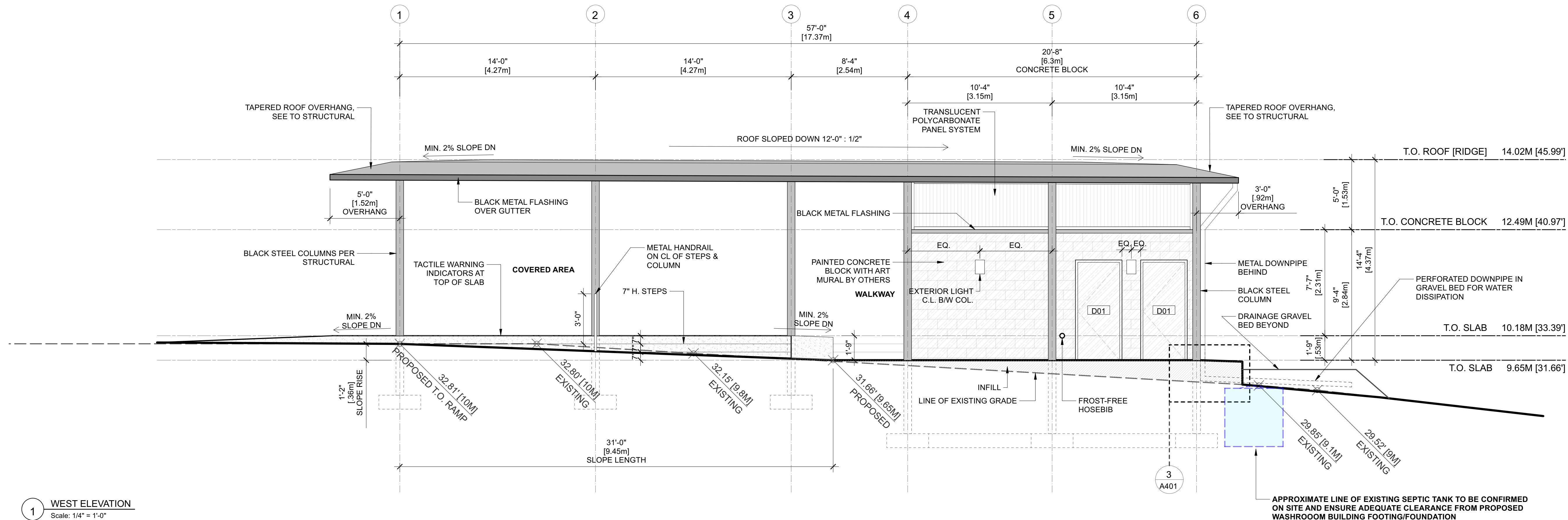
PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

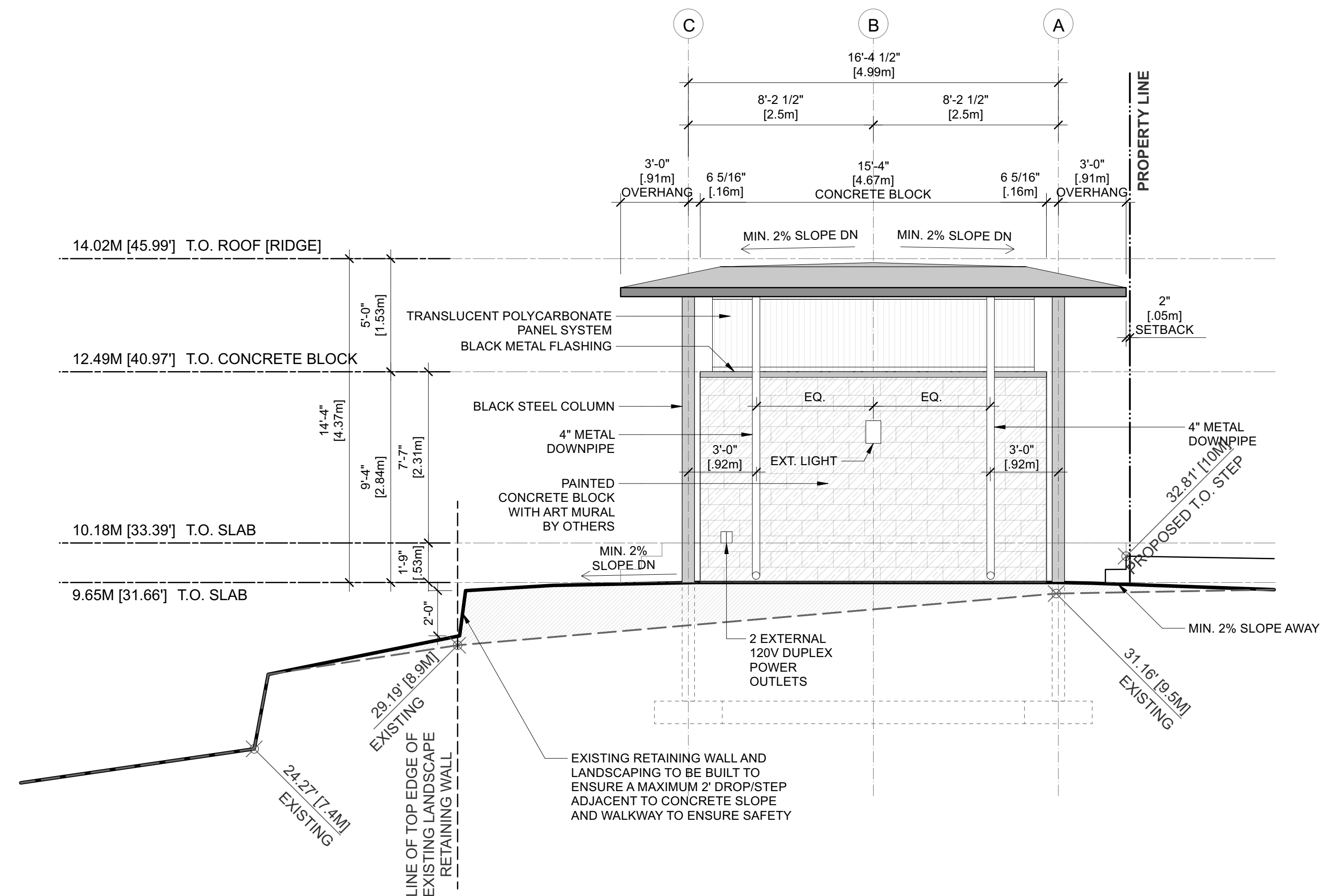
SOUTH & WEST
ELEVATION

SCALE: AS NOTED

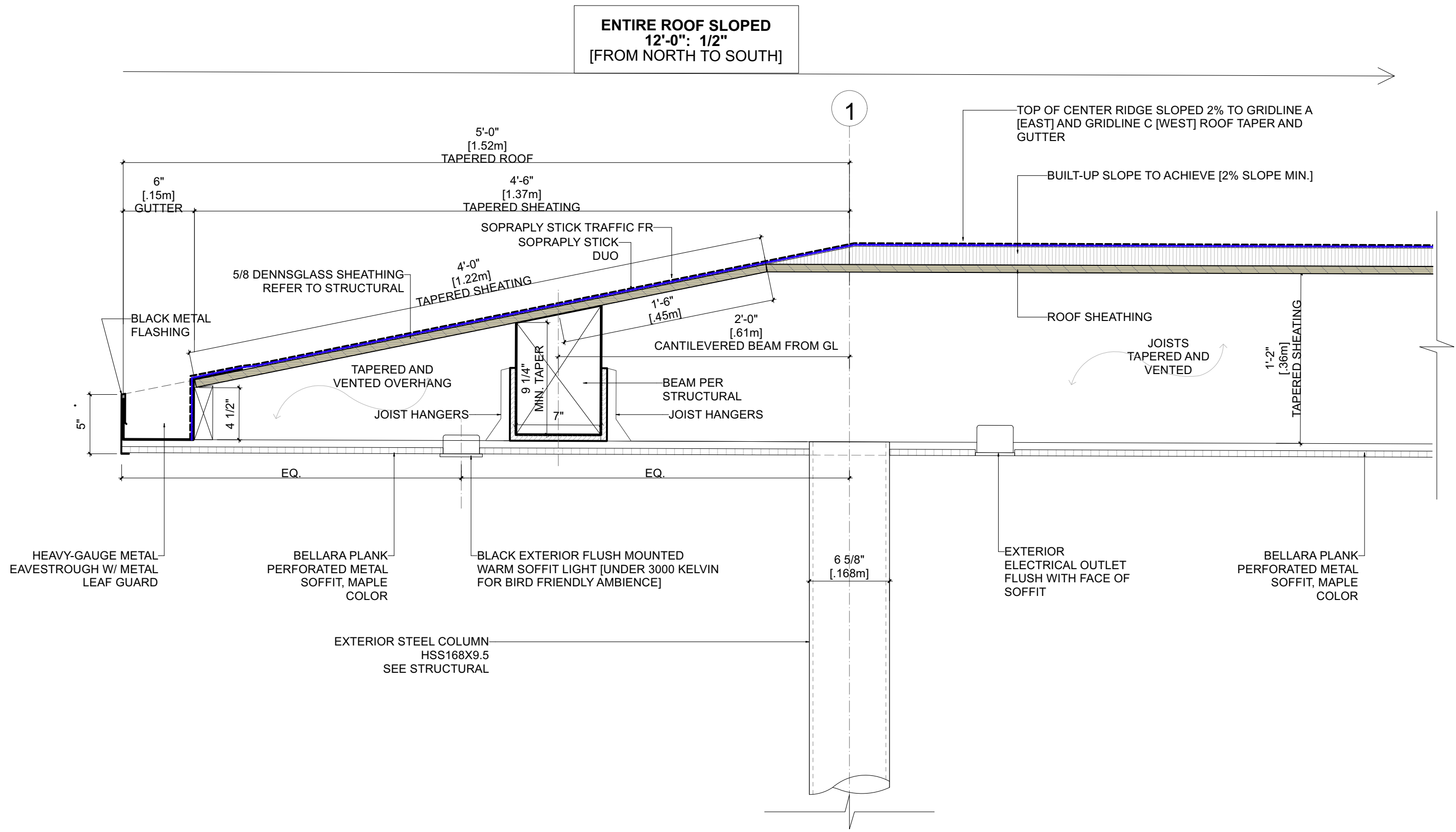
A302



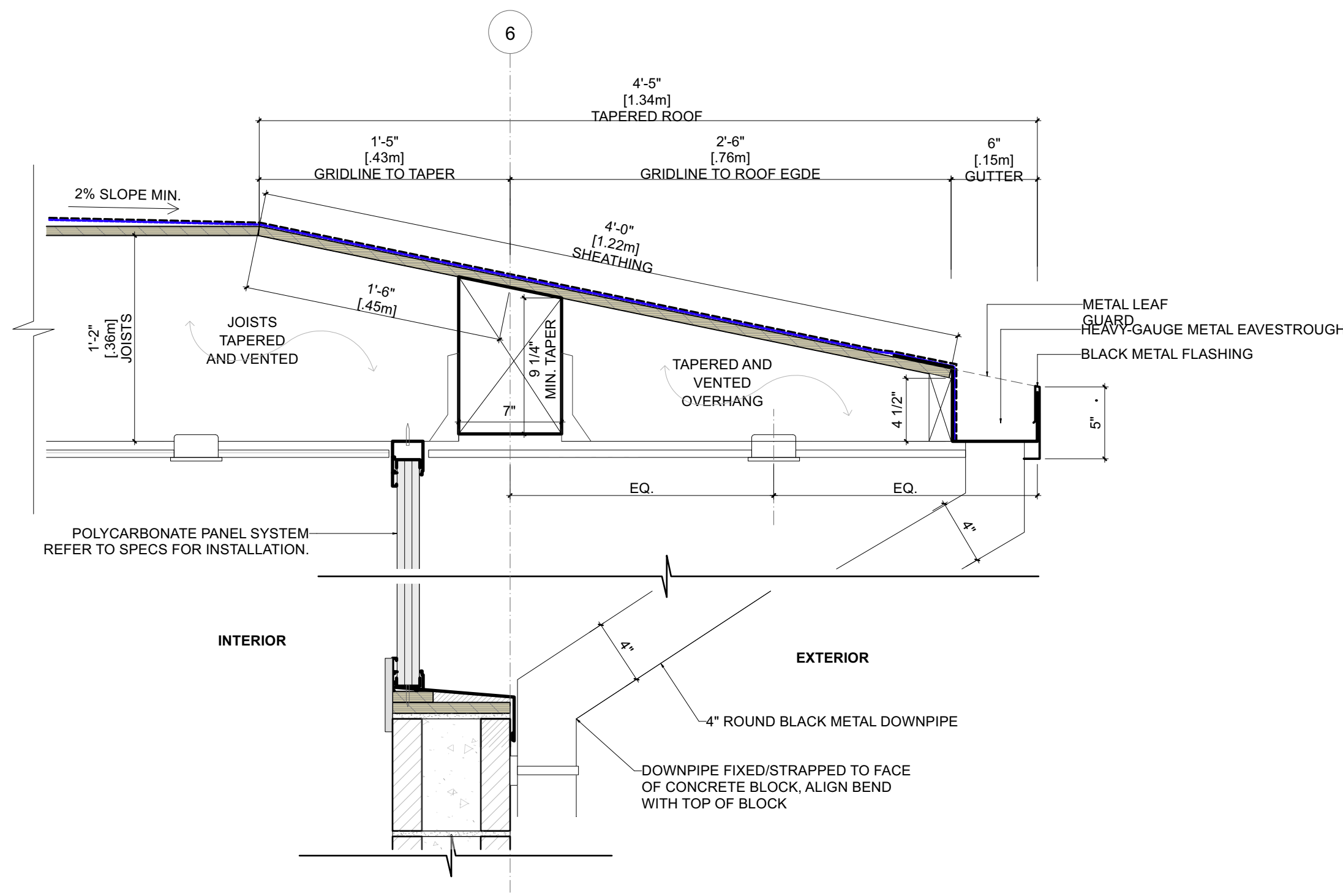
1 WEST ELEVATION
Scale: 1/4" = 1'-0"



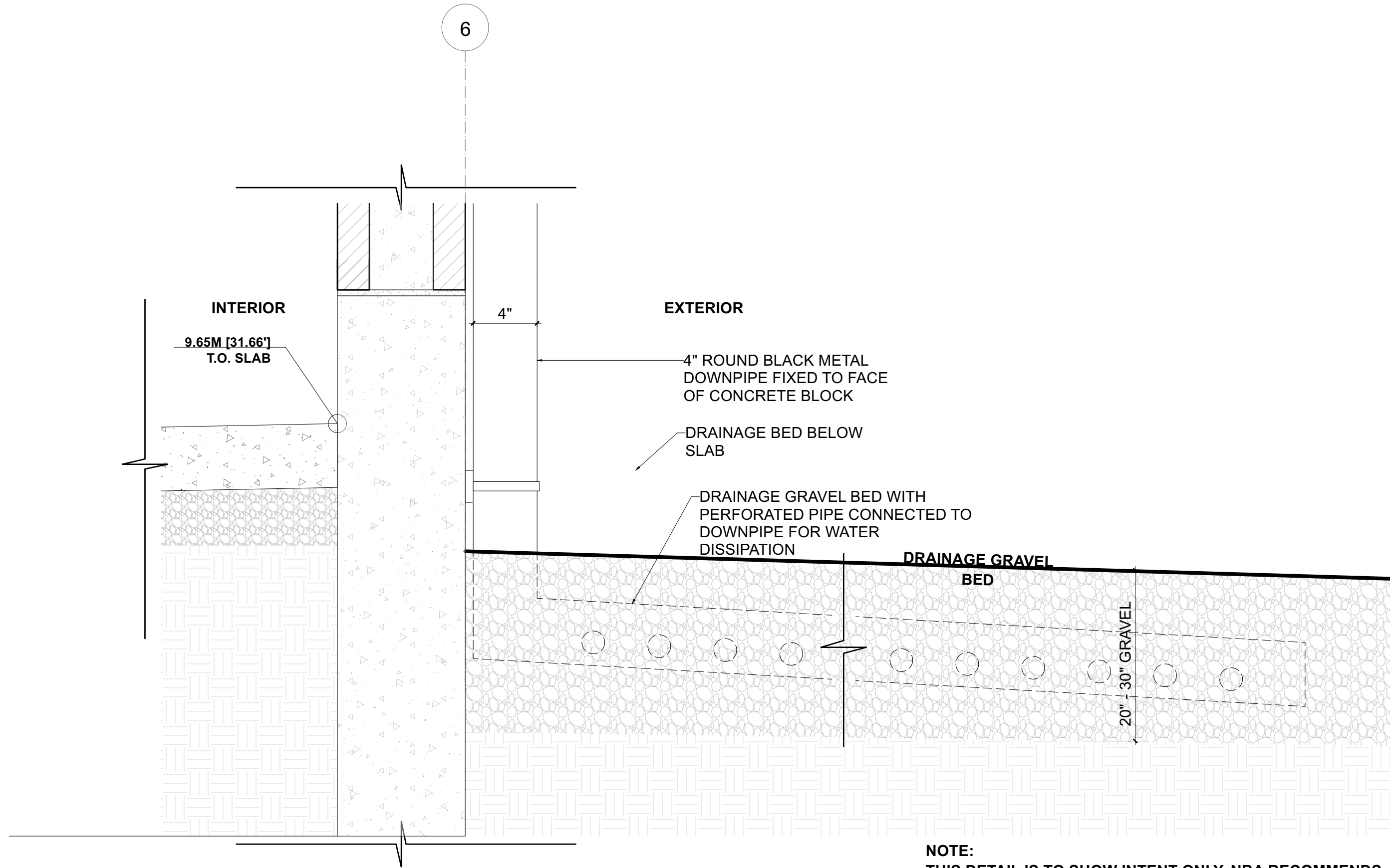
2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 ROOF OVERHANG AT GRIDLINE 1 DETAIL
Scale: 1 1/2" = 1'-0"



2 ROOF OVERHANG AT GRIDLINE 6 DETAIL
Scale: 1 1/2" = 1'-0"



3 DOWNPIPE/SLAB DETAIL
Scale: 2" = 1'-0"

NOTE:
THIS DETAIL IS TO SHOW INTENT ONLY, NBA RECOMMENDS COORDINATION WITH A DRAINAGE BED SYSTEMS CONSULTANT/SPECIALIST FOR ACCURACY.

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PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
**LIONS BAY BEACH PARK, LIONS BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148**

DETAILS

SCALE: AS NOTED

A401

1 1/2" DIA. GALVANIZED HANDRAIL

1 1/2" DIA. COLUMN

5/8" A402

BASEPLATE FIXED TO T.O. CONCRETE

6" [150mm]

1'-0" [300mm]

PROPOSED CONCRETE STAIRS

1 TYPICAL EXTERIOR HANDRAIL @ TOP RISER

Scale: 1 1/2" = 1'-0"

3
A402

1 1/2" DIAM. GALVANIZED HANDRAIL

1 1/2" [30mm]

1'-0" [3m]

PROPOSED CONCRETE STAIRS

BASEPLATE FIXED TO T.O. CONCRETE

2

TYPICAL EXTERIOR HANDRAIL AT B.O. LANDING

Scale: 1 1/2" = 1'-0"

3'-0" [914mm]

0'-3" [76mm]

1 1/2" [38mm]

1 1/2" DIAM. GALVANIZED HANDRAIL

1 1/2" DIAM. GALVANIZED STEEL ROD

BASEPLATED FIXED TO T.O. CONCRETE

3

TYPICAL EXTERIOR HANDRAIL SECTION

Scale: 1:5

3'-0"
[.91m]

1'-6"
[.46m]

TYP. LANDSCAPE
RETAINING WALL
HEIGHT

1'-0"
[.3m]

1 1/2"
[.04m]

TYP. LANDSCAPE
RETAINING WALL
HEIGHT

4

TYP. HANDRAIL RETURN DETAIL

Scale: 1:5

5 TYP. STAIR NOSING DETAIL
Scale: 1:5

Technical drawing of a tactile warning indicator (truncated dome) showing dimensions and specifications:

- RISER DEPTH WHERE REQUIRED AT T.O. STAIRS**: Indicated by a dimension line at the top left.
- 600 - 650MM**: Overall width dimension.
- 1/4"**: Vertical dimension for the riser depth.
- 22-35 MM**: Width of the first truncated dome.
- 42-70 MM**: Width of the second truncated dome.
- 12-25 MM**: Width of the third truncated dome.
- 3 MM MAX**: Maximum height of the truncated domes.
- TACTILE WARNING INDICATORS (TRUNCATED DOMES) AS PER OBC 3.3.1.19. & 4.3.5.3.4.**: Text label pointing to the domes.

6 TYP. TACTILE WARNING STRIP/INDICATOR DETAIL
Scale: 1:5

4'-0" [1.22m] MIN.

1'-0" [0.3m]

1'-0" [0.3m]

1'-0" [0.3m] RISER

600-650MM

1 1/2" [0.04m]

1 1/2" [0.04m]

DN

DN

TYPICAL LANDING

TACTILE WARNING INDICATORS [TRUNCATED DOMES] AT TOP OF LANDING 1 RISER WIDTH BACK FROM TOP OF STAIR FLIGHT AS PER OBC 3.3.1.19. & 4.3.5.3.4.

FOR LANDINGS WHERE THE RUN OF A LANDING IS GREATER THAN 2100MM WITH NO CONTINUOUS HANDRAIL, A TACTILE SURFACE INDICATOR SHALL BE PROVIDED.

5'-0" [1.52m]

7

TYP. TACTILE WARNING STRIP/INDICATOR DETAIL

Scale: 3/4" = 1'-0"

A402

DRAFT

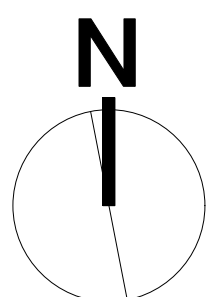
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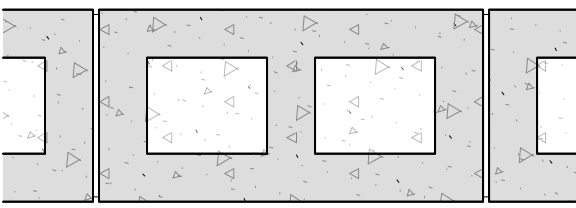
PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS
BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

SCALE: AS NOTED

A404



CONCRETE MASONRY WALL

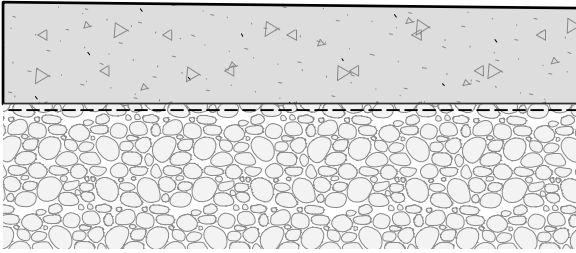
	C1	CONCRETE MASONRY UNIT	
	-	PAINTED CONCRETE MASONRY UNIT, PAINT COLOR AS PER ARTISTIC MURAL. REFER TO LIONS BAY ART COMMUNITY DESIGN.	FRR 1.5hr BCBC T-9.10.3.1.-A
	-	ANTI-GRAFFITI COATING APPLIED TO CONCRETE EXTERIOR	
	-	8" CONCRETE MASONRY UNIT (REFER TO STRUCTURAL)	STC 50
	-	ANTI-GRAFFITI COATING APPLIED TO EXPOSED CONCRETE INTERIOR	Wall Type B1b BCBC T-9.10.3.1.-A

TYPE A WALL	FRAMING -	OVERALL 8"	NOTES AS ABOVE CONCRETE BLOCK ONLY WITH ANTI-GRAFFITI COATING APPLIED ON BOTH SIDES OF INTERIOR
-------------------	--------------	---------------	---

	C2	TRANSLUCENT POLYCARBONATE PANEL	
	1 1/2" SYSTEM	MADULIT 500 LP SYSTEM TRANSLUCENT POLYCARBONATE PANEL C/W UPPER PROFILE TRACK AND LOWER PROFILE TRACK WITH SILL FLASHING. REFER TO MODULIT'S SPECS.	U-VALUE 0.23 R-VALUE 4.35

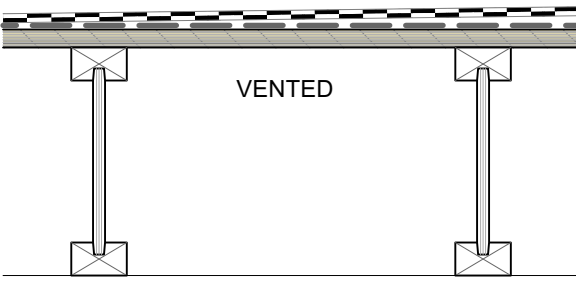
TYPE A	FRAMING -	OVERALL 8"	NOTES AS ABOVE
-----------	--------------	---------------	-------------------

FLOOR

SLOPED (SEE PLAN) →			
	F1	CONCRETE SLAB ON GRADE	
	4" 10 MIL	REINFORCED LOW CARBON CONCRETE SLAB ON GRADE (SEE STRUCTURAL) POLY VAPOUR BARRIER COMPACTED GRANULAR FILL (NO FINES) - SEE STRUC. ENG.	
	-	NOTE: CONTRACTOR TO ENSURE FREEZE PROTECTION FOR PLUMBING PENETRATIONS AROUND SLAB	

TYPE A	FRAMING -	OVERALL 10"	NOTES AS ABOVE,
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ROOF

	R1	ROOF - SHELF-ADHESIVE TWO-PLY SYSTEM	
	-	SOPRAPLY TRAFFIC CAP FR [FIRE RATED] MEMBRANE HEAT WELDED	FRR -
	-	SOPRAPLY STICK DUO SELF-ADHESIVE BASE SHEET MEMBRANE	
	5/8"	PAINTED DENSGLASS SHEATHING (SEE STRUCTURAL)	STC -
	14"	WOOD JOISTS (SEE STRUCTURAL)	
	3/4"	STRAPPING SYSTEM	
	3/4"	METAL SOFFIT, BELLARA PLANK BY VICWEST, COLOR: NATURAL MAPLE 18-0255 (26A), SIZE: 135MM REFER TO REFLECTED CEILING PLAN FOR SMOOTH AND PERFORATED SOFFIT PANEL LOCATIONS	R VALUE

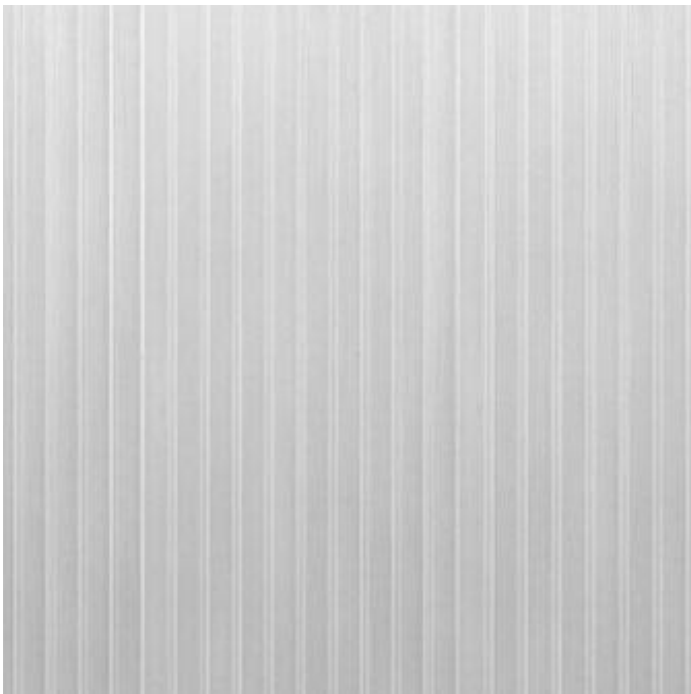
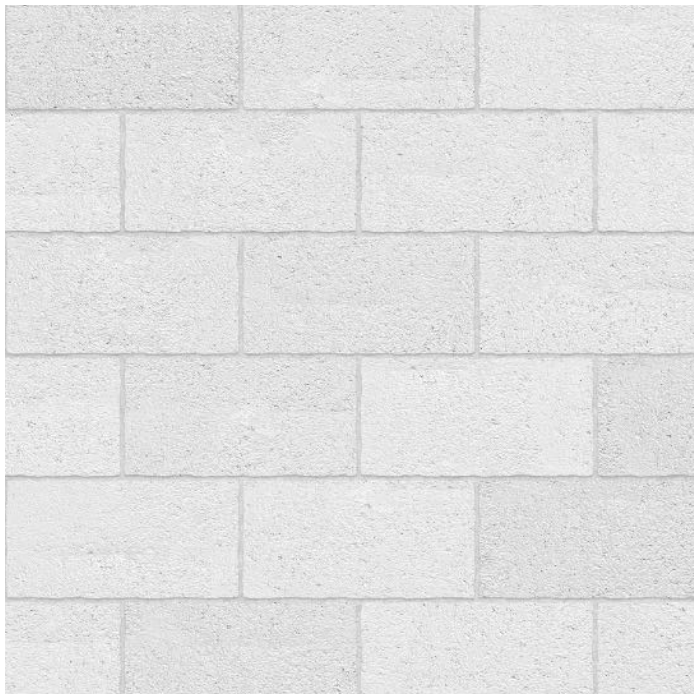
TYPE A	FRAMING -	OVERALL 1'-7"	NOTES AS ABOVE
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GENERAL ASSEMBLY NOTES

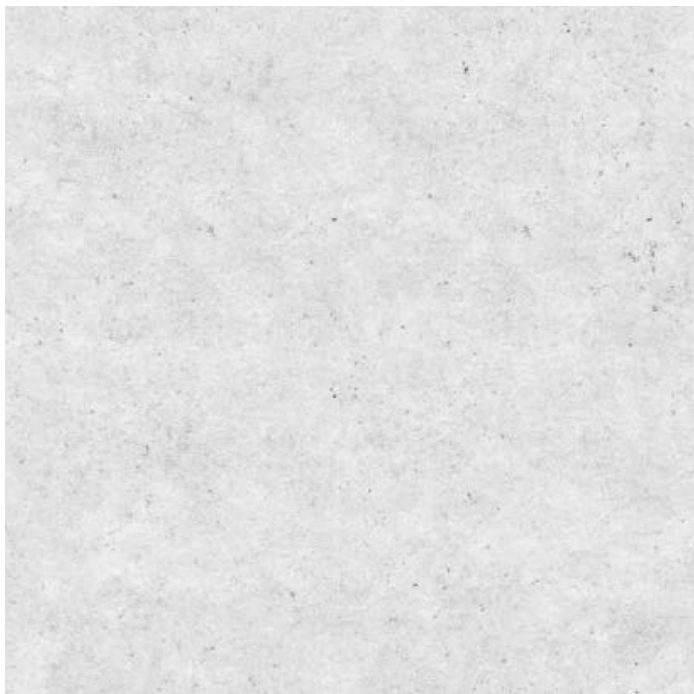
- REFER TO STRUCTURAL DRAWINGS FOR SHEATHING REQUIREMENTS ON SHEAR WALLS
- ALL EXTERIOR WOOD FRAMED WALLS TO BE 2x6 UNLESS OTHERWISE NOTED ON PLANS.
- ALL INTERIOR WOOD FRAMED WALLS TO BE 2x4 UNLESS OTHERWISE NOTED ON PLANS.
- ALL TYPES AS DRAWN ARE DIAGRAMMATIC ONLY.
- REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LOCATION OF EXTERIOR SHEAR WALLS / CORRESPONDING NAILING PATTERNS, AND GENERAL SHEAR WALL REQUIREMENTS.
- IT IS THE SOLE RESPONSIBILITY OF THE G.C. TO TAILOR PROPOSED ASSEMBLIES TO SPECIFIC CONDITIONS (SEE PLAN/SECTION DETAILS).
- G.C. SHALL INSURE THAT ALL ASSEMBLIES MEET MINIMUM PERFORMANCE REQUIREMENTS AS PRESCRIBED BY APPLICABLE CODES AND REGULATIONS. ALL DIMENSIONS TO BE CONFIRMED WITH ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- G.C. TO CONFIRM ANY/ALL DISCREPANCIES WITH NICK BRAY ARCHITECTURE PRIOR TO CONSTRUCTION.
- G.C. SHALL INSURE ALL PROPOSED ASSEMBLIES COMPLY WITH ALL CODES/REGULATIONS HAVING JURISDICTION.
- PRIOR TO CONSTRUCTION ALL PROPOSED ASSEMBLIES SHALL BE CONFIRMED WITH BUILDING OFFICIALS AND/OR ALL OTHER AUTHORITIES/REQUIRED CONSULTANTS HAVING JURISDICTION.
- INITIATION OF WORK BY THE G.C. AND/OR ITS SUB-TRADCES SHALL INDICATE THAT ALL ASSEMBLIES HAVE BEEN CONFIRMED WITH BUILDING OFFICIALS AND/OR ALL OTHER AUTHORITIES/REQUIRED CONSULTANTS HAVING JURISDICTION.
- THE G.C. IS RESPONSIBLE FOR THE MEANS/METHODS OF CONSTRUCTION.
- THE G.C. SHALL SUBMIT ALL SUBSTITUTIONS FOR APPROVAL PRIOR TO CONSTRUCTION.
- FOR SPRAYFOAM, INSULTHANE EXTREME BY ELASTOCHEM SPRAYFOAM INSULATION OR EQUIVALENT LOW GWP (GLOBAL WARMING POTENTIAL) TO BE USED.
- FOR SPRAYFOAM, SOPRA XPS (GREY) OR EQUIVALENT LOW GWP (GLOBAL WARMING POTENTIAL) TO BE USED.
- LOW CARBON CONCRETE REQUIRED TO BE PRODUCED USING POST-INDUSTRIAL CARBON DIOXIDE (CO2) MINERALIZATION TECHNOLOGIES, O.E.A. CONCRETE WITH LOWER EMBODIED ENERGY.

ASHRAE 20XX 90.1. - CLIMATE ZONE 4 PRESCRIPTIVE VALUES USED

MATERIALS

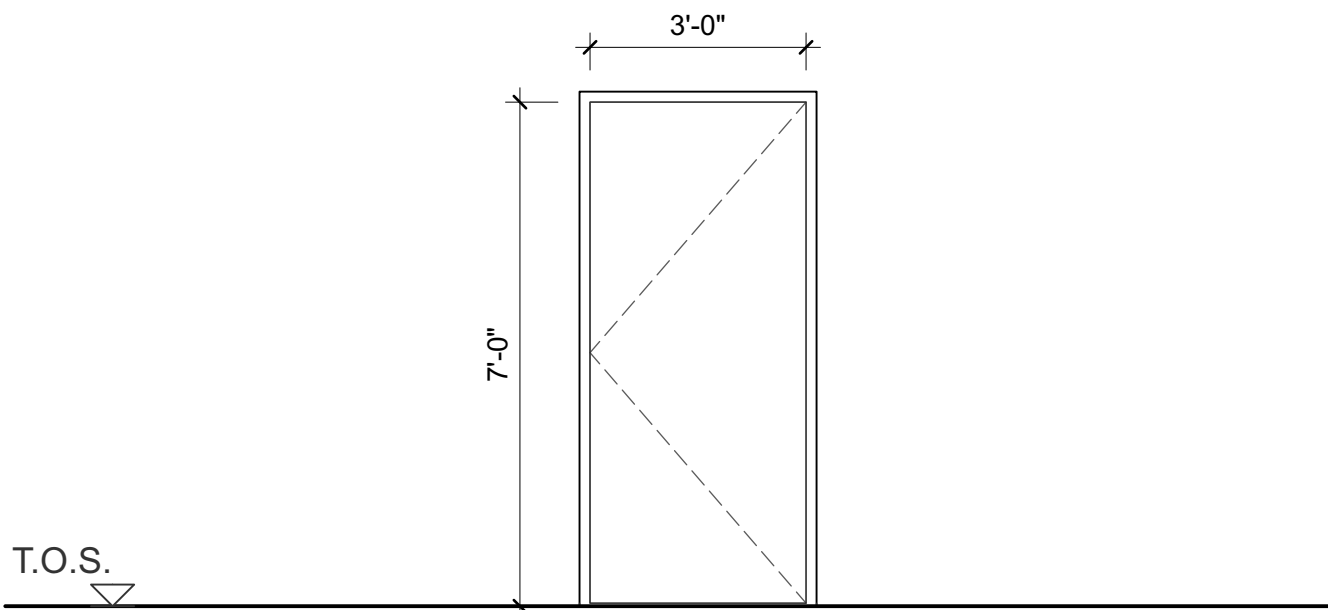


1. CONCRETE BLOCK [PAINTED MURAL] 2. FAWN COLOR LUX VENTED SOFFIT 3. BLACK METAL FLASHING AND STEEL COLUMNS 4. TRANSLUCENT POLYCARBONATE PANELS 5. SBS BITUMEN ROOFING MEMBRANE



6. POURED CONCRETE FLOOR

DOOR SCHEDULE



D01

- Steel Door with Steel Frame [Outswinging and self-close]
- Door Finish to allow for Painted Artistic Mural on top.
- Keyed Lever Handle for access and lock-off
- Hardware Colour to Match Frame
- 2 NRP Butt Hinges, Stop, Weatherstrip and Closer and Kickplate.

Note: Refer to plan for door swing direction.
Note: Any/all door threshold should be max. 13mm above finihsed floor to allow accesibility/wheel chair access.

D02

- As above but with;
- Electronic Door Operator for Disabled Access (Interior and Exterior Button).

Note: Refer to plan for door swing direction.

NOT FOR CONSTRUCTION

DRAFT

10	11-Aug-25	Reissued for BP [Draft]
9	17-Jul-25	Issued for BP
8	25-Jun-25	Issued for Review [Draft BP]
7	19-Jun-25	Issued For Arts Council Coordination
6	16-Jun-25	Issued For Structural Coord.
5	28-May-25	Issued For Coordination/Pricing
4	22-Apr-25	Issued For Presentation
3	21-Mar-25	Issued For Client Review
2	20-Mar-25	Issued For Structural Coordination
1	17-Mar-25	Issued For Review/ Coordination

REV DATE DESCRIPTION

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

PROJECT
LIONS BAY BEACH PARK

PROJECT ADDRESS
LIONS BAY BEACH PARK, LIONS BAY, BC
VILLAGE OF LIONS BAY
PROJECT NO: 24148

ASSEMBLIES

SCALE: AS NOTED

A601